

**CITY OF SANTA CLARITA
PLANNING COMMISSION MEETING**

**Tuesday, July 1, 2014
6:00 p.m.
City Council Chambers
23920 Valencia Boulevard
Santa Clarita, CA 91355**

AGENDA

In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Planning Division at (661) 255-4330. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to this meeting. (28CFR 35.102-35.104 ADA Title II)

CALL TO ORDER

FLAG SALUTE

ROLL CALL

APPROVAL OF AGENDA

APPROVAL OF MINUTES OF THE JUNE 3, 2014, REGULAR MEETING

COMMISSION SECRETARY ANNOUNCEMENT

A. CONTINUED PUBLIC HEARING

ITEM 1 MASTER CASE NO. 14-041, CONDITIONAL USE PERMIT 14-005; INITIAL STUDY 14-002

Case Planner: David Peterson, Assistant Planner II

Applicant: Oakmont Senior Living

Location: The subject property is located south of Newhall Ranch Road between West Rye Canyon Road and Vanderbilt Way at APN 2866-035-006 in the City of Santa Clarita.

Request: This applicant is requesting a Conditional Use Permit for the construction of a two-story, 81-unit Residential Service/Care Facility (senior apartment complex) with on-site medical care. The subject property is in the Business Park (BP) zone.

Recommendation: Staff recommends that the Planning Commission receive the information and materials that constitute Master Case 14-041 (CUP 14-005, IS 14-002) and adopt Resolution P14-09 approving the proposed Residential Service/Care Facility located at APN: 2866-035-006 subject to the attached Conditions of Approval (Exhibit A).

B. PUBLIC HEARING

ITEM 2 MASTER CASE NO. 13-188, CONDITIONAL USE PERMIT 13-015

Case Planner: James Chow, Associate Planner

Applicant: AT&T

Location: 24025 Newhall Ranch Road (APN: 2811-084-001)

Request: The applicant is proposing to install and operate a wireless communications facility on the roof of the westernmost building within the Bridgeport Marketplace shopping center. This facility would be co-located in conjunction with another wireless communications facility proposed at this location. The subject property is located in the Community Commercial (CC) zone.

Recommendation: Staff recommends that the Planning Commission adopt Resolution P14-10, approving Master Case No. 13-188, Conditional Use Permit 13-015, approving the proposed AT&T wireless communications facility located at 24025 Newhall Ranch Road (APN: 2811-084-001), subject to the attached conditions of approval (Exhibit A of Resolution P14-10).

ITEM 3 MASTER CASE NO. 13-198, CONDITIONAL USE PERMIT 13-017

Case Planner: James Chow, Associate Planner

Applicant: Verizon

Location: 24015 Newhall Ranch Road (APN: 2811-084-001)

Request: The applicant is proposing to install and operate a wireless communications facility on the roof of the westernmost building within the Bridgeport Marketplace shopping center. Ground-mounted equipment is also proposed with this request, between the subject building and Newhall Ranch Road. This facility would be co-located in conjunction with another wireless communications facility proposed at this location. The subject property is located in the Community Commercial (CC) zone.

Recommendation: Staff recommends that the Planning Commission adopt Resolution P14-11, approving Master Case No. 13-198, Conditional Use Permit 13-017, approving the proposed Verizon Wireless wireless communications facility located at 24015 Newhall Ranch Road (APN: 2811-084-001), subject to the attached conditions of approval (Exhibit A of Resolution P14-11).

ITEM 4 MASTER CASE NO. 14-070, CONDITIONAL USE PERMIT 14-007

Case Planner: Patrick Leclair, Associate Planner

Applicant: Karen Barahona

Location: 23120 Lyons Avenue, Suite 10 (APN#: 2830-015-058)

Request: The applicant is requesting the approval of a Conditional Use Permit to allow for the operation of a second hand store within a 900 square-foot tenant space in an existing retail center within the Lyons Corridor Plan.

Recommendation: Staff recommends the Planning Commission adopt Resolution P14-12 approving the Conditional Use Permit for a second hand store at 23120 Lyons Avenue, #10, subject to the attached conditions of approval (Exhibit "A").

C. PLANNING MANAGER'S REPORT

D. PLANNING COMMISSIONERS' REPORTS

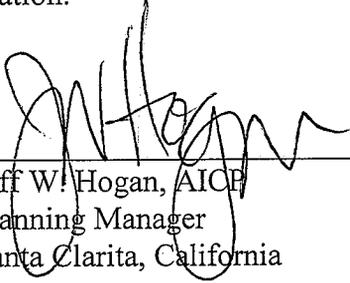
E. PUBLIC BUSINESS FROM THE FLOOR

F. ADJOURNMENT

Complete packets are available for public inspection at the City Clerk's front counter and the Permit Center front counter. Any writings or documents distributed to a majority of the members of the Planning Commission regarding any open session item on this agenda will be made available for public inspection in the Permit Center located at 23920 Valencia Boulevard, Suite 140, during normal business hours. These writings or documents will also be available for review at the meeting. Thank you for attending your City Planning Commission meeting. If you have any questions or wish to know more about the City or the Community Development Department, please call (661) 255-4330 Monday through Thursday, 7:30 a.m. to 5:30 p.m. and Fridays 8:00 a.m. to 5:00 p.m.

CERTIFICATION

I, Jeff W. Hogan, do hereby certify that I am the duly appointed and qualified Planning Manager for the City of Santa Clarita, and that on June 27, 2014, between the hours of 9:00 a.m. and 5:00 p.m., the foregoing agenda was posted at City Hall, Valencia Library, and the Santa Clarita Sheriff's Station.

A handwritten signature in black ink, appearing to read "Jeff W. Hogan", is written over a horizontal line. The signature is stylized and cursive.

Jeff W. Hogan, AICP
Planning Manager
Santa Clarita, California

**MINUTES OF THE
REGULAR MEETING OF THE PLANNING COMMISSION
OF THE CITY OF SANTA CLARITA**

**Tuesday
June 3, 2014
6:00 p.m.**

CALL TO ORDER

The meeting of the Planning Commission of the City of Santa Clarita was called to order by Chair Heffernan at 6:00 p.m. in the City Council Chambers, 23920 Valencia Boulevard, Santa Clarita, California.

FLAG SALUTE

Commissioner Eichman led the flag salute.

ROLL CALL

Chair Heffernan and Commissioners Burkhart, Eichman, Ostrom and Trautman were all present.

APPROVAL OF AGENDA

A motion was made by Commissioner Ostrom and seconded by Commissioner Trautman to approve the agenda. Said motion was approved by a vote of 5-0.

APPROVAL OF THE MINUTES OF THE APRIL 1, 2014, REGULAR MEETING

A motion was made by Commissioner Trautman and seconded by Commissioner Burkhart to approve the minutes of the April 1, 2014, regular meeting. Said motion was approved by a vote of 5-0.

MINUTE ACTION

ITEM 1 DRAFT FISCAL YEAR 2014-2015 CAPITAL IMPROVEMENT PROGRAM

Planning Manager, Jeff Hogan, informed the Commissioners that City staff from CIP and Finance were present if there were any questions.

Chair Heffernan commented that he was impressed on the funding sources the City received for the upcoming fiscal year and the research and competition involved.

A motion was made by Commissioner Burkhart and seconded by Vice Chair Trautman to approve, by minute action, Draft Fiscal Year 2014-2015 Capital Improvement Program. A roll call vote was taken and was carried by a vote of 5-0.

ITEM 2 MASTER CASE NO. 13-182; DEVELOPMENT REVIEW PERMIT 13-009

Jessica Frank, Associate Planner, gave the staff report and computer slide presentation.

Rodney Singh from Beazer Homes (the applicant), was available for questions.

No written comment cards were received.

Chair Heffernan requested that the fences along Newhall Ranch Road be painted white and the applicant agreed to the condition.

A motion was made by Vice Chair Trautman and seconded by Commissioner Ostrom to approve, by minute action, Master Case No. 13-182, Development Review Permit 13-009. A roll call vote was taken. Said motion was carried by a vote of 5-0.

PUBLIC HEARING

ITEM 3 MASTER CASE NO. 14-041; CONDITIONAL USE PERMIT 14-005, INITIAL STUDY 14-002

Planning Manager, Jeff Hogan, advised the Commission that the applicant has requested to continue the public hearing to the July 1 regularly scheduled meeting.

A motion was made by Commissioner Burkhart and second by Commissioner Trautman to continue the item. A roll call vote was taken and the motion was carried by a vote of 5-0.

ITEM 4 MASTER CASE NO. 13-129; CONDITIONAL USE PERMIT 13-011,

Planning Manager, Jeff Hogan, informed the Commissioners that AT&T, the applicant, has withdrawn the proposal.

ITEM 5 MASTER CASE NO. 13-196; CONDITIONAL USE PERMIT 13-016,

Jessica Frank, Associate Planner, gave the staff report and computer slide presentation.

The public hearing was opened at 6:33 p.m.

Robert McCormick, the applicant, and Howard Quin, the applicant's noise consultant, were available for comments.

The public hearing was closed at 6:35 p.m.

A motion was made by Commissioner Trautman and seconded by Commissioner Ostrom to adopt Resolution No. P14-03, approving Master Case No. 13-196; Conditional Use Permit 13-016, to allow for the installation and operation of a wireless telecommunications facility. A roll call vote was taken. Said motion was carried by a vote of 5-0

PLANNING MANAGER'S REPORT

Jeff Hogan, Planning Manager, gave the report. Mr. Hogan updated the Commissioners on the last Council meeting. The second reading of the Downtown Newhall Specific Plan was approved and the appeal of the Planning Commission's decision to approve the cell site on Fairview from the February 18, 2014 meeting went before the council and was continued to a date uncertain.

Mr. Hogan informed the Commissioners that they should be expecting to see the Soledad Corridor plan at a Planning Commission meeting in the fall.

The next meeting for the commissioners will be on July 1.

PLANNING COMMISSIONERS' REPORTS

There were no reports.

PUBLIC BUSINESS FROM THE FLOOR

There were no public comments.

ADJOURNMENT

A motion was made by Vice Chair Trautman and seconded by Commissioner Ostrom to adjourn the meeting. Said motion was approved by a vote of 5-0, and the meeting was adjourned at 6:42 p.m.

Charles Heffernan, Chair
Planning Commission

Jeff W. Hogan AICP, Planning Manager
Community Development

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CITY OF SANTA CLARITA
STAFF REPORT
MASTER CASE NO. 14-041
CONDITIONAL USE PERMIT 14-005; INITIAL STUDY 14-002

DATE: July 1, 2014

TO: Chairperson Heffernan and Members of the Planning Commission

FROM: Jeff Hogan, AICP, Planning Manager

CASE PLANNER: David Peterson, Assistant Planner II

APPLICANT: Oakmont Senior Living

LOCATION: The subject property is located south of Newhall Ranch Road between West Rye Canyon Road and Vanderbilt Way at APN 2866-035-006 in the City of Santa Clarita.

REQUEST: This applicant is requesting a Conditional Use Permit for the construction of a two-story, 81-unit Residential Service/Care Facility for seniors. The facility includes on-site medical care. The subject property is in the Business Park (BP) zone.

BACKGROUND AND PROJECT DESCRIPTION

On April 29, 2014, Oakmont Senior Living submitted for a Conditional Use Permit (CUP) for an 81-unit Residential Service/Care facility in the Business Park (BP) zone. The project was deemed complete on May 12, 2014. A public hearing before the Planning Commission was scheduled for June 13, 2014 but, at the request of the applicant, was continued to July 1, 2014.

The subject property is approximately eight-acres in size and consists of a certified pad that was created in 2007. The developable portion of the project site consists of a certified pad at grade with Newhall Ranch Road. The remainder of the site slopes down approximately 80 feet from the pad to the south. The project will include planting of oak trees on the existing engineered slopes.

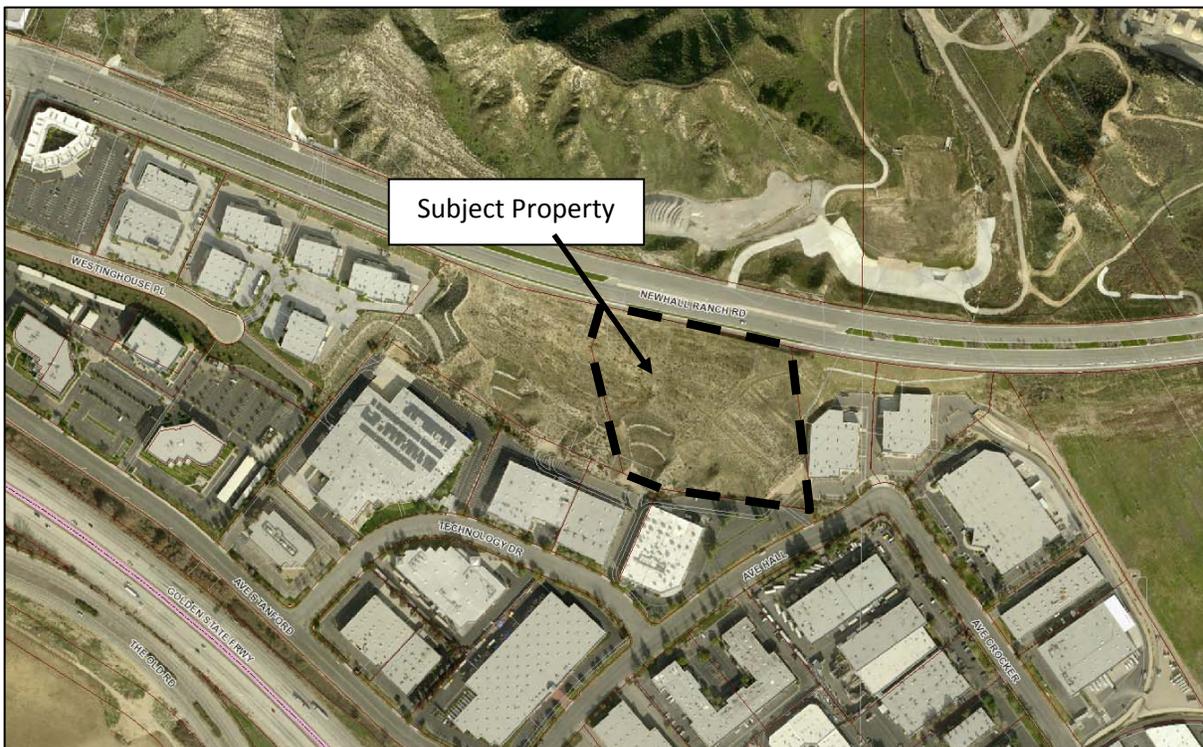
The proposed facility consists of an 81-unit Residential Service/Care Facility comprising approximately 85,500 square feet and measuring 36'-1' at its highest point. The project would provide senior citizens with an active living environment that includes on-site medical supervision. A variety of amenities are incorporated into the site including a central quad, a green for pets, walking paths, outdoor dining areas and a community garden. Approximately 25% of the units would be dedicated for the care of patients with Alzheimer's Disease.

GENERAL PLAN DESIGNATION AND ZONING

The Unified Development Code (UDC) requires approval of a CUP for a Residential Service/Care Facility in the BP zone. The General Plan land use designation for the subject property is also BP.

The subject property is located south of Newhall Ranch Road at APN 2866-035-006. The property is bounded to the north, across Newhall Ranch Road, by open space owned by the Southern California Gas Company. Natural gas storage tanks are located on the property. The subject property is bounded to the west, south and east by existing business park development. These developed areas include a variety of warehouse, light manufacturing and office uses. The parcel directly west of the subject property is vacant but zoned BP. A utility easement exists for transmission lines approximately 815 feet east of the subject property. The intersection of the Interstate-5 and State Route 126 is approximately three-quarters of a mile west of the subject property.

	General Plan	Zoning	Land Use
Project	BP	BP	Residential Service/Care Facility
North	BP	BP	Open Space/Gas Company
South	BP	BP	Business Park
West	BP	BP	Vacant/Business Park
East	BP	BP	Business Park



ANALYSIS

Aesthetics

The proposed project incorporates 360-degree architecture and is consistent with the City of Santa Clarita's Community Character and Design Guidelines. The maximum height of the facility is approximately 36 feet from grade. The portion of the facility that extends above 35 feet is an architectural element that is consistent with the overall design of the building and adds interest and articulation to the structure.

Whereas the City of Santa Clarita's UDC requires a CUP for structures over 35 feet in the BP zone, UDC Section 17.53.020B allows for additional height over 35 feet for architectural treatments without a CUP, provided that:

- The height does not exceed 45 feet;
- the element is compatible with the overall architectural design; and
- the element allows for additional articulation that would otherwise not be achieved under 35 feet.

Visual simulations of the site are attached to this report.

Biology

No native vegetation exists on the site due to prior grading activities and no previously identified candidate, sensitive, or special status species are known to occur nor have any been identified on the subject property. The project site is located approximately 2,500 feet from the nearest riparian habitat, the Santa Clara River. The project site is not located in a Significant Ecological Area nor is any habitat located on site. The project site does not contain any sensitive natural communities identified in local or regional plans, policies or regulations or by the California Department of Fish and Game or US Fish and Wildlife Service. Finally, the proposed project does not conflict with any conservation plans and no oak trees are located on the subject property or in the vicinity of the subject property.

Parking

The required parking ratio for the proposed use is 0.5 parking spaces per individual unit. Given the 81 proposed units, a total of 41 parking spaces are required. The current site plan demonstrates 62 parking spaces, including a parking space for a pool vehicle. As a result, the proposed project exceeds the required parking by 21 spaces. A pickup/drop-off location is provided at the western end of the facility.

Soils and Geology

The proposed project will be constructed on the flat portion of a prepared pad that was certified in 2007. All rough grading activities were completed at that time. The total buildable area is approximately 4 acres. The project will only require additional fine grading. Approximately

3,500 cubic yards of earth will be required for pad preparation and the material will balance on site.

Traffic

For purposes of comparison, given the size and zoning of the subject property, a 60,000 square foot office space development *could* be supported. Traffic modeling indicates that this kind of development would generate a total of 2,200 daily trips. The same traffic model shows that the proposed Residential Service/Care Facility would only generate 230 daily trips; roughly 10% of the total number of trips that an office use would generate.

In 2012, there were 37,100 average daily trips on the portion of Newhall Ranch Road adjacent to the proposed project. The increase of 230 daily trips as a result of the proposed project would increase the total number of average daily trips on Newhall Ranch Road by less than one-tenth of one percent.

Condition TR1 requires the applicant to provide a right-turn pocket into the subject property on east-bound Newhall Ranch Road. This will require the slight relocation of the Class I bike trail to conform to the shape of the new turn pocket.

Condition TD3 requires that the applicant provide an irrevocable offer of dedication for a future bus stop on eastbound Newhall Ranch Road, east of the project entrance. The position of the future bus stop is demonstrated on the site plan.

ENVIRONMENTAL STATUS

An Initial Study was prepared in accordance with the California Environmental Quality Act (CEQA). The Initial Study determined that all impacts related to the proposed project are considered to be less than significant. Therefore, a Negative Declaration was prepared in accordance with Section 15070 of CEQA. The initial study was circulated from May 13, 2014 to June 1, 2014.

PUBLIC NOTICE AND COMMENTS

On May 13, 2014, a Notice of Public Hearing was sent to all property owners within a 1,000-foot radius of the project site in accordance with Section 17.06.110(B) of the UDC. A legal notice advertising the public hearing was placed in The Signal, and a sign was posted on the project site. To date, the Community Development Department has not received any comments related to the proposed project.

The item was originally scheduled to come before the Planning Commission at its regular meeting on June 3, 2014. However, at the request of the applicant, the Planning Commission continued the item until July 1, 2014. Signage placed on site advertising the public hearing was revised to reflect the revised public hearing date in accordance with City notification requirements.

RECOMMENDATION

Staff recommends that the Planning Commission receive the information and materials that constitute Master Case 14-041 (CUP 14-005, IS 14-002) and adopt Resolution P14-09 approving the proposed Residential Service/Care Facility located at APN: 2866-035-006 subject to the attached Conditions of Approval (Exhibit A).

ATTACHMENTS

Resolution

Conditions of Approval (Exhibit A)

Site Plan

Elevations

Preliminary Landscape Plan

Visual Simulations

Negative Declaration/Initial Study

RESOLUTION NO. P14-09

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARITA ADOPTING A NEGATIVE DECLARATION AND APPROVING MASTER CASE NO. 14-041, CONDITIONAL USE PERMIT 14-005 AND INITIAL STUDY 14-002 TO ALLOW AN 81-UNIT RESIDENTIAL SERVICE/CARE FACILITY LOCATED AT APN: 2866-035-006, IN THE CITY OF SANTA CLARITA

THE PLANNING COMMISSION OF THE CITY OF SANTA CLARITA DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. FINDINGS OF FACT. The Planning Commission does hereby make the following findings of fact:

- A. An application for Master Case No. 14-041 (CUP 14-005, IS 14-002) was filed by Oakmont Senior Living (hereinafter "Applicant") with the City of Santa Clarita on April 29, 2014. The property for which this application was filed is located south of Newhall Ranch Road between West Rye Canyon Road and Vanderbilt Way at APN: 2866-035-006 (hereinafter "Subject Site");
- B. The project consists of a two-story, 81-unit Residential Service/Care Facility for seniors and includes on-site medical care. The facility provides several amenities to encourage and active lifestyle for residents. A portion of the facility is reserved for individuals with Alzheimer's Disease;
- C. The application was deemed complete on May 12, 2014;
- D. The applicant proposes to construct a two-story, 81-unit Residential Service/Care Facility (senior apartment complex) with on-site medical supervision;
- E. The zoning and General Plan designation for the subject site is Business Park (BP);
- F. The property is bounded to the north, across Newhall Ranch Road, by open space owned by the Southern California Gas Company. Natural gas storage tanks are located on the property. The subject site is bounded to the west, south and east by existing business park development. The parcel directly west of the subject property is vacant but zoned BP. These developed areas include a variety of warehouse, light manufacturing and office uses;
- G. On June 3, 2014, a duly noticed public hearing was held before the City of Santa Clarita Planning Commission at 6:00 p.m. at City Hall, Council Chambers, 23920 Valencia Boulevard, Santa Clarita;
- H. At the request of the applicant, the Planning Commission continued the public hearing to July 1, 2014; and

- I. On July 1, 2014 a duly noticed public hearing was held before the City of Santa Clarita Planning Commission at 6:00 p.m. at City Hall, Council Chambers, 23920 Valencia Boulevard, Santa Clarita;
- J. At this public hearing, the Planning Commission considered the staff report, staff presentation, applicant's presentation, and public testimony.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDINGS. Based upon the foregoing facts and findings, the Planning Commission hereby finds as follows:

- A. An Initial Study and a Negative Declaration for this project have been prepared in compliance with the California Environmental Quality Act (CEQA);
- B. The Initial Study has been circulated for review and comment by affected governmental agencies and the public, and all comments received, if any, have been considered. The Negative Declaration was posted and advertised on May 13, 2014, in accordance with CEQA. The public review period was open from May 13, 2014 through June 3, 2014;
- C. There is no substantial evidence that the project will have a significant effect on the environment. The Negative Declaration reflects the independent judgment of the City of Santa Clarita;
- D. The location of the documents and other material which constitutes the record of proceedings upon which the decision of the Planning Commission is the Master Case No. 14-041 project file within the Community Development Department and is in the custody of the Director of Community Development; and
- E. The Planning Commission, based upon the findings set forth above, hereby finds that the Negative Declaration for this project has been prepared in compliance with CEQA.

SECTION 3. GENERAL FINDINGS FOR MASTER CASE NO. 14-041. Based on the foregoing facts and findings for Master Case No. 14-041, the Planning Commission hereby finds as follows:

- A. That the proposal is consistent with the General Plan;

The proposed project is consistent with the City of Santa Clarita's General Plan (General Plan). Specifically, the General Plan Land Use Element, Objective 3.1 and Policy 3.1.6 state:

Objective 3.1: Provide for a diversity of housing types available to provide safe and suitable homes for all economic levels, household sizes, age groups and special needs groups within the community.

Policy 3.1.6: Promote development of housing suitable to residents with special needs, including, but not limited to senior citizens and persons with disabilities.

The proposed project would construct an 81-unit Residential Service/Care Facility. The facility would provide an active environment for senior citizens and provide on-site medical supervision. A portion of the units would be dedicated to those with Alzheimer's Disease.

- B. The proposal is allowed within the applicable underlying zone and complies with all other applicable provisions of the UDC;

The proposed use is allowed within the applicable underlying zone, BP, via the Conditional Use Permit process. The proposed project is consistent with all General Plan goals, objectives and policies for architecture, and site design and meets the applicable UDC provisions identified in Sections 17.34, 17.42, 17.51, 17.53 and 17.57 for residential and commercial developments as identified in the Conditions of Approval generated for the proposed project.

- C. The proposal will not endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare, or be materially detrimental or injurious to the improvements, persons, property, or uses in the vicinity and zone in which the property is located; and

An Initial Study and Negative Declaration were completed for the proposed project. The project will produce either no impact or less than significant impacts in all areas identified by the study. The project will not handle or use commercial quantities or types of hazardous materials, will have less than significant impact on air quality and greenhouse gas emissions, will not generate noise beyond that contemplated by the City of Santa Clarita's Noise Ordinance, is not subject to landslide hazards or flood hazards, will have less than significant impact on water quality, will not divide any existing community, and will have less than significant impact on population and housing.

- D. The proposal is physically suitable for the site. The factors related to the proposal's physical suitability for the site shall include, but are not limited to, the following:

- 1) The design, location, shape, size, and operating characteristics are suitable for the proposed use;

The proposed project is an 81-unit Residential Service/Care Facility located on an existing certified pad in the BP zone. The subject property is approximately 8 acres, with approximately 4 acres of buildable area. The proposed project is consistent with all applicable UDC provisions identified in Sections 17.34, 17.42, 17.51 and 17.55. The proposed facility will not exceed 36 feet in height, complies with the City of Santa Clarita's Community Character and Design Guidelines, and is consistent with the massing and density of existing development in the area. Further, the proposed

use is over 200 feet from the nearest commercial structure and is vertically offset approximately 80 feet above the surrounding commercial land uses.

- 2) The highways or streets that provide access to the site are of sufficient width and are improved as necessary to carry the kind and quantity of traffic such proposal would generate;

The proposed project is fronted by Newhall Ranch Road, a major arterial highway. Over 37,000 daily trips occur on the segment of Newhall Ranch Road that fronts the subject site. The proposed project would generate approximately 230 new daily trips which would increase the total daily trips on the adjacent segment of Newhall Ranch Road by less than one-tenth of one percent. Conditions of approval for the project require the construction of a right-turn pocket consistent with the City of Santa Clarita's design requirements. This will serve to move traffic safely from east-bound Newhall Ranch Road to the project site. An existing left turn pocket exists on Newhall Ranch Road to service the entrance to the project from west-bound Newhall Ranch Road. Finally, all egress from the project will be right-turn out only. No traffic leaving the site will be allowed to perform a left turn across traffic. These design features comply with all applicable requirements for commercial development by the Traffic Engineering Division.

- 3) Public protection services (e.g., Fire protection, Sheriff protection, etc.) are readily available; and

The proposed project would not create any significant adverse impacts to public services, nor would it necessitate the construction of new facilities for fire, police, school services or parks. Although the proposed use could result in an increase in the number of local trips for medical purposes, because a portion of population at the proposed use would be derived from the current City population, these would not be new trips. Further, because the proposed project only contains 81 units, the number of actual new trips would be low and well within the current capacity of existing emergency services.

- 4) The provision of utilities (e.g., potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.) is adequate to serve the site.

The proposed project is required via the Conditions of Approval to establish all needed utilities prior to the issuance of building permits.

SECTION 4. NOW, THEREFORE, BE IT RESOLVED, by the Planning Commission of the City of Santa Clarita, California, as follows:

Adopt Resolution P14-09, adopting the Negative Declaration, approving Master Case 14-041, CUP 14-005 and IS 14-002, to allow for an 81-unit Residential Service/Care Facility, located at APN: 2866-035-006, subject to the attached Conditions of Approval (Exhibit A).

PASSED, APPROVED, AND ADOPTED this 1st day of July, 2014.

Charles Heffernan, CHAIRPERSON
PLANNING COMMISSION

ATTEST:

JEFF W. HOGAN, SECRETARY
PLANNING COMMISSION

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES)
CITY OF SANTA CLARITA)

I, Jeff W. Hogan, Planning Commission Secretary of the City of Santa Clarita, do hereby certify that the foregoing Resolution was duly adopted by the Planning Commission of the City of Santa Clarita at a regular meeting thereof, held on the 1st day of July, 2014 by the following vote of the Planning Commission:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

PLANNING COMMISSION SECRETARY

EXHIBIT A
MASTER CASE 14-041:
CONDITIONAL USE PERMIT 14-005, INITIAL STUDY 14-002

DRAFT CONDITIONS OF APPROVAL

GENERAL CONDITIONS

- GC1. The approval of this project shall expire if the approved use is not commenced within two (2) years from the date of conditional approval, unless it is extended in accordance with the terms and provisions of the City of Santa Clarita's Unified Development Code (UDC).
- GC2. To the extent the use approved with this project is a different use than previously approved for the property, the prior approval shall be terminated along with any associated vested rights to such use, unless such prior approved use is still in operation, or is still within the initial pre-commencement approval period. Once commenced, any discontinuation of the use approved with this project for a continuous period of one hundred eighty (180) calendar days or more shall terminate the approval of this use along with any associated vested rights to such use. The pre-existing legal use shall not be re-established or resumed after the one hundred eight (180) day period. Discontinuation shall include cessation of a use regardless of intent to resume.
- GC3. The applicant shall be responsible for notifying the Director of Community Development in writing of any change in ownership, designation of a new engineer, or change in the status of the developer, within 30 days of said change.
- GC4. Unless otherwise apparent from the context, the term "applicant" shall include the applicant and any other persons, corporation, or other entity making use of this grant. The applicant shall defend, indemnify, and hold harmless the City of Santa Clarita, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul the approval of this project, including any related environmental approvals. In the event the City becomes aware of any such claim, action, or proceeding, the City shall promptly notify the applicant, or if the city fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Nothing contained in this condition prohibits the City from participating in the defense of any claim, action, or proceeding, if both the following occur: 1) the City bears its own attorney's fees and costs; and 2) the City defends the action in good faith. The applicant shall not be required to pay or perform any settlement unless the settlement is approved by the applicant.
- GC5. The property shall be developed and maintained in substantial conformance with the approvals granted by the City. Any modifications shall be subject to further review by the City.

- GC6. This grant shall not be effective for any purpose until the permittee and the owner of the property involved (if other than the permittee) have filed with the Director of Community Development, their affidavit (Acceptance Form) stating that they are aware of, and agree to accept, all of the conditions of this grant.
- GC7. Details shown on the site plan are not necessarily approved. Any details which are inconsistent with the requirements of state or local ordinances, general conditions of approval, or City policies and not modified by this permit must be specifically approved in writing.
- GC8. It is further declared and made a condition of this permit that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the City may commence proceedings to revoke this approval.

PLANNING DIVISION

- PL1. The architecture of the proposed facility shall be designed to be consistent with the Community Character and Design Guidelines (CCDG) for the Valencia community. A copy of the CCDG can be found at <http://www.santa-clarita.com/planning>.
- PL2. All roof mounted equipment shall be screened from public view.
- PL3. The proposed project shall comply with all pertinent sections of the Unified Development Code (UDC) including but not limited to 17.34.040 (Business Park Zone), 17.51 (Property Development Standards), 17.53 (Commercial Standards) and 17.57 (Residential Standards).
- PL4. The applicant shall provide on-site parking at a rate of 0.5 parking spaces per residential unit. The proposed 81-unit facility requires 41 on-site parking stalls.
- PL5. All 90 degree parking spaces shall measure a minimum of 9 feet in width by 18 feet in length. Dimensions of disabled spaces shall comply with the California Building Code.
- PL6. All drive isles shall be a minimum of 26 feet in width.
- PL7. A minimum 10 foot landscaped setback shall be located adjacent to Newhall Ranch Road along the frontage of the property.
- PL8. Driveways shall have a minimum stacking distance of 40 feet from the face of curb to the satisfaction of the Traffic Engineer.
- PL9. Trash enclosure(s) and access shall be conveniently located and designated to allow collection vehicles to service the trash/recycling bins without backing up where feasible.
- PL10. Walkways shall be provided to public sidewalks and transit stops where available.

- PL11. All ground-mounted mechanical equipment shall be identified on the site plan and screened from view.
- PL12. All utility connections shall be designed to coordinate with the architectural elements of the building. Power lines and over-head cables less than (34) KV shall be installed underground.

Landscape Comments

- LR1. Prior to issuance of grading permit(s) the applicant shall provide final landscape, lighting and irrigation plans (Landscape Document Package) for Planning Division review and approval. The plan must be prepared by a California-registered landscape architect and shall be designed with the plant palette suitable for Santa Clarita (Sunset Western Garden Book Zone 18, minimum winter night temperatures typically 20° to 30° F; maximum summer high temperatures typically 105° F to 110° F). The landscape design plan shall meet the design criteria of the State Water Efficiency Landscape Ordinance as well as all other current Municipal Code / Unified Development Code requirements.
- LR2. The applicant shall be aware that additional fees will be required to be paid by the applicant for the review of required landscape and irrigation plans by the City's landscape consultant based on an hourly rate. An invoice will be provided to the applicant at the completion of the review of the plans. The applicant will be required to pay all associated fees to the City of Santa Clarita prior to the release of the approved landscape and irrigation plans for the project.
- LR3. **Required Landscape Plan Elements.** Final landscape plans shall contain all elements as listed in the checklist for preliminary landscape plans (Attachment 'A'), and shall conform to the Landscaping and Irrigation Standards (§17.51.030) in the Unified Development Code. The following elements need to be addressed on the preliminary and/or final landscape plans:
- (a) Landscape plans shall show plant material to screen at maturity all trash enclosures, transformer boxes, vault boxes, backflow devices, and other exterior mechanical equipment. Screening material may include trees, shrubs (15 gallon minimum size), clinging vines, etc. Masonry block (concrete masonry unit) trash enclosures shall be screened with both shrubs and clinging vines;
 - (b) Landscape plans shall show all lighting fixtures, base dimensions, and typical finish elevations;
 - (c) The applicant shall place water-conserving mulching material on all exposed soil in planting areas not covered by turfgrass. Mulching material may include, and is not limited to, shredded bark, river rock, crushed rock, pea gravel, etc., and must be at least two (2) inches deep;
 - (d) Prior to occupancy, the applicant shall install all proposed irrigation and landscape, including irrigation controllers, staking, mulching, etc., to the satisfaction of the Director of Community Development. The Director may impose inspection fees for more than one landscape installation inspection; and

- (e) Prior to occupancy, the applicant shall submit to the Director of Community Development a letter from the project landscape architect certifying that all landscape materials and irrigation have been installed and function according to the approved landscape plans.

BUILDING AND SAFETY DIVISION

- BS1. The applicant shall submit detailed construction plans to the Building and Safety Division for plan review and building permits. Supporting documentation, such as structural calculations, energy calculations and soil/geology reports shall be included in the plan submittal package.
- BS2. The applicant shall be aware that plans submitted for plan review shall show full compliance with the California Building Codes in effect at the time the building permit application is submitted. The current building codes are: 2013 California Building, Mechanical, Plumbing, and Electrical Codes, the California Green Building Standards Code, and the 2010 California Energy Code. The 2013 California Energy Code will become effective on July 1, 2014.
- BS3. The applicant shall be aware that the City of Santa Clarita has amended some portions of the California Building Codes. A copy of these amendments is available at the Building and Safety public counter and on our website at: www.santa-clarita.com/Index.aspx?page=552.
- BS4. The applicant shall be aware that plans submitted to Building and Safety for plan review shall be 100% complete. Plans submitted shall show all work being performed for this project including Architectural, Structural, Mechanical, Electrical and Plumbing. Plans shall be prepared by licensed Design Professionals (architect and/or engineer). Incomplete plans or plans prepared by unqualified individuals will delay the project. The current site plan indicates the building includes an R-2.1 Occupancy group. The submitted plans shall include all code requirements for this occupancy including the special provisions of CBC chapters 4 and 9. The applicant shall be aware that plans drawn by a Design Professional not licensed in California will not be accepted for plan review.
- BS5. The applicant shall be aware that plans shall show full compliance with the disabled access requirements as specified in Chapter 11A (for private residential / sleeping units) and Chapter 11B (for the public and common use areas) of the California Building Code.
- BS6. The applicant shall be aware that all disabled access requirements including site accessibility information and details shall be part of the architectural plans (vs the civil plans) and will be reviewed by Building and Safety. Civil plans used for grading purposes are not reviewed or approved for site accessibility requirements.
- BS7. The applicant shall be aware that any submitted plans to Building and Safety shall have a Building Code Analysis and floor area justification containing the following minimum information: types of construction, occupancy groups, occupant loads, any area increases

from frontage and/or fire sprinklers, height of building, number of stories, summary of any fire rated walls, occupancy separations (or non-separated uses), identify any accessory occupancies or incidental uses, indicate whether the project is located in a flood hazard or fire hazard zone, and all other related data.

- BS8. Prior to submitting plans to Building and Safety for plan review, please contact Deanna Hamrick at (661) 255-4941, for project addressing.
- BS9. The applicant shall be aware that a complete soils and geology investigation report will be required for this project. The report shall be formally submitted to the Development Services Division (Engineering) for review and approval. The recommendations of the report shall be followed and incorporated into the plans for the project. A copy of the report shall be submitted to Building & Safety at time of plan submittal.
- BS10. The applicant shall be aware that prior to issuance of building permits: any rough grading and/or re-compaction that are recommended in the soil/geology report must be completed and a final compaction report and pad certification shall be submitted to and approved by the Development Services Division.
- BS11. The applicant shall be aware that the submitted site plan shall show all lot lines, any easements, restricted use areas, etc. Any construction proposed in an easement shall obtain the easement holders written permission.
- BS12. The applicant can receive an estimate of the building permit fees and the backlog time for plan review, please contact the Building and Safety Division directly.
- BS13. The applicant shall be aware that prior to issuance of building permits, additional clearances will be required from these agencies:
- a. Santa Clarita Environmental Services (Construction & Demo Plan deposit)
 - b. William S. Hart School District and appropriate elementary school district,
 - c. Castaic Lake Water Agency;
 - d. L. A. County Fire Prevention Bureau;
 - e. L. A. County Sanitation District; and
 - f. L. A. County Environmental Programs (Industrial Waste).
- Please contact the agencies above to determine if there are any plan review requirements and fees to be paid. Clearances from additional agencies may be required and will be determined during the plan review process. An agency referral list with contact information is available at the Building and Safety public counter.
- BS14. The applicant shall be aware that the California Plumbing Code (CPC) shall be used to determine the minimum number of plumbing fixtures. Horizontal drainage piping shall have a minimum slope of 1/4" per foot, or 2%, to the point of disposal. (CPC sec 708.0) Slopes shallower than 2% will not be approved by the Building Official.

BS15. Each separate detached structure, such as trash enclosures, fences, retaining walls, shade structures will require separate applications and building permits. These other structures need not be on separate plans, but may be part of the same plans for the main project.

ENGINEERING DIVISION

General Requirements

- EN1. At issuance of permits or other grants of approval, the applicant agrees to develop the property in accordance with City codes and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Code, Highway Permit Ordinance, Mechanical Code, Unified Development Code, Undergrounding of Utilities Ordinance, Sanitary Sewer and Industrial Waste Ordinance, Electrical Code, and Fire Code.
- EN2. Prior to issuance of grading permits, Ford Court shall be vacated per City Engineer's direction, and all pertinent documents recorded by Los Angeles County.
- EN3. Prior to issuance of building permits, the applicant shall record a covenant for easement of all shared driveways and drive aisles, and common landscaping/slope maintenance areas, as directed by the City Engineer.

Grading, Drainage & Geology Requirements

- EN4. Prior to issuance of grading permit, the applicant shall submit a grading plan consistent with the approved site plan, oak tree report and conditions of approval. The grading plan shall be based on a detailed engineering geotechnical report specifically approved by the geologist and/or soils engineer that addresses all submitted recommendations.
- EN5. The site is located within a mapped liquefiable and earthquake-induced landslide area, per the State of California Seismic Hazard Zone Map. Prior to issuance of grading permit, the applicant shall submit a geotechnical report, which adequately addresses the Seismic Hazard Zone. All required mitigation measures shall be incorporated into the development plans.
- EN6. Prior to the issuance of grading permit, the applicant shall obtain approval and connection permit from the Los Angeles County Department of Public Works, Land Development Division to connect the on-site storm drain system to a public storm drain system.
- EN7. Prior to grading permit, the applicant shall have approved by the City Engineer, a drainage study demonstrating that post-development flows from the site will not be increased from pre-development flows, or mitigate for the increase.
- EN8. Prior to grading permit, the applicant shall obtain a notarized Letter of Permission for grading over all easements.
- EN9. Prior to grading permit, the applicant shall obtain a notarized Letter of Permission for grading outside of the property lines from the adjacent property owner(s).

- EN10. Should the project connect the on-site storm drain system to a public storm drain system (MTD 1362) downstream that has not transferred to the County for maintenance and ownership, prior to the City's release of any bond monies, the applicant shall complete the transfer of the downstream storm drain system to the County.
- EN11. Prior to issuance of building permits, the applicant shall construct all grading and drainage facilities within the project site.
- EN12. This project is a development planning priority project under the City's NPDES Municipal Stormwater Permit as a development with a parking lot 5,000 square feet or more or with 25 or more parking spaces. Prior to issuance of grading/building permit, the applicant shall have approved by the City Engineer, an Urban Stormwater Mitigation Plan (USMP) that incorporates appropriate post construction best management practices (BMPs), maximizes pervious surfaces, and includes infiltration into the design of the project. Refer to the Standard Urban Stormwater Mitigation Plan (SUSMP) guide for details.
- EN13. Under the provisions of the new Los Angeles County NPDES Stormwater (MS4) permit, development projects will be required to install Low-Impact Development BMPs (e.g. infiltration), and may be required to implement hydrologic control measures to address hydro-modification. This permit may impact the project, depending on grading permit issuance timeline. City is mandated to implement new permit requirements by May 2015.
- EN14. This project will disturb one acre or more of land. Therefore, the applicant must obtain coverage under a statewide General Construction Activities Stormwater Permit (General Permit). In accordance with the General Permit, the applicant shall file with the State a Notice of Intent (NOI) for the proposed project. Prior to issuance of grading permit by the City, the applicant shall have approved by the City Engineer a Stormwater Pollution Prevention Plan (SWPPP). The SWPPP shall include a copy of the NOI and shall reference the corresponding Waste Discharge Identification (WDID) number issued by the State upon receipt of the NOI.

Street Improvement Requirements

- EN15. Prior to any construction (including, but not limited to, drive approaches, sidewalks, curb and gutter, etc.), trenching or grading within public or private street right-of-way, the applicant shall submit a street improvement plan consistent with the approved site plan, oak tree report and conditions of approval and obtain encroachment permits from the Engineering Division.
- EN16. Prior to street plan approval, the applicant shall submit a street tree location plan to the City's Urban Forestry Division for review and approval. The location of the street trees shall not conflict with sewer or storm drain infrastructure. The plan shall include proposed sewer lateral locations and storm drain infrastructure for reference.

- EN17. Prior to issuance of building permits, the applicant shall provide easements for all utility companies for the proposed vacated area.
- EN18. Prior to building final, the applicant shall construct full street improvements for required right-turn lane, as directed by the City Engineer.
- EN19. Prior to building final, the applicant shall repair any broken or damaged curb, gutter and sidewalk, and refurbish the half section of pavement on streets within or abutting the project, to the satisfaction of the City Engineer.

Sewer Improvement Requirements

- EN20. The on-site sewer shall be a privately maintained system. All sewer lines shall have a minimum 2% slope and pipe inverts shall be 6 feet below the curb grade. Prior to grading plan approval, the applicant shall demonstrate that all sewer pipes meet these requirements with the proposed building pad elevations. Private on-site sewers are reviewed and approved by the City's Building & Safety Division.
- EN21. Prior to issuance of building permits, the proposed building(s) shall be connected to the existing sewer main in Newhall Ranch Road (PC 99-11). Prior to issuance of building permits, the applicant shall coordinate with the Building and Safety Division regarding payment of additional annexation fees, if required, to annex the property into the County Sanitation District.
- EN22. Prior to sewer plan approval, the applicant shall provide a sewer area study in accordance with City policies for review and approval by the City Engineer.
- EN23. Prior to first building final, the applicant shall construct all sewer upgrades in accordance with the approved sewer area study, to the satisfaction of the City Engineer.

TRAFFIC ENGINEERING DIVISION

- TR1. Prior to issuance of first building permits, the applicant shall construct an eastbound right-turn pocket along Newhall Ranch Road, at the proposed driveway. The right-turn pocket shall be 12' wide and provide 300' storage and 120' taper. Additional ROW will need to be dedicated, as necessary, to accommodate the right-turn pocket.
- TR2. All driveways and drive aisles shall be a minimum of 26' wide, unless otherwise approved/directed by the Los Angeles County Fire Department.
- TR3. Prior to street plan approval, the applicant shall show on the street plan drive approaches using a modified commercial driveway design (APWA 110-1, Type C or equivalent) that

will provide a street/drive approach transition with a maximum algebraic grade difference of 10%. Construction details shall be shown on the street plan providing a transition no greater than this maximum.

- TR4. Adequate sight visibility is required at all project driveways and shall follow the latest Caltrans manual for applicable requirements.
- TR5. All project driveways shall intersect with the adjacent roadway at 90 degrees or as close to 90 degrees as topography permits (no less than 80 degrees).
- TR6. The site shall be designed to adequately accommodate all vehicles (e.g. automobiles, vans, trucks) that can be expected to access the site. This includes, but is not limited to, adequate maneuvering areas around loading zones and parking spaces, and appropriate turning radii.
- TR7. The location, width and depth of all project driveways and drive aisles shall conform to the approved site plan. No additional driveways shall be permitted.
- TR8. Any dead-end drive aisles shall have a hammerhead or turn-around area to facilitate vehicular movements.

ENVIRONMENTAL SERVICES DIVISION

- ES1. The applicant shall provide sufficient trash enclosures to house at least sixteen 3-yard bins. Eight of the bins should be reserved for recyclable materials only. The enclosure(s) should be shown on the site plan with dimensions, consistent with the surrounding architecture and shall be constructed with a solid roof. The enclosure(s) shall be located to provide convenient pedestrian and collection vehicle access.
- ES2. All demolition projects regardless of valuation and new construction projects valued greater than \$500,000 must comply with the City's Construction and Demolition Materials (C&D) Recycling Ordinance.
- ES3. C&D Materials Recycling Ordinance:
- A Construction and Demolition Materials Management Plan (C&DMMP) must be prepared and approved by the Environmental Services Division prior to obtaining any grading or building permits.
 - A minimum of 50% of the entire project's inert (dirt, rock, bricks, etc.) waste and 50% of the remaining C&D waste must be recycled or reused rather than disposing in a landfill.
 - A deposit of 3% of the estimated total project cost or \$25,000, whichever is less, is required. The full deposit will be returned to the applicant upon proving that 50% of the inert and remaining C&D waste was recycled or reused.

- ES4. Per the California Green Building Standards Code, 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a phased project, such material may be stockpiled on site until the storage site is developed.
- ES5. All projects within the City that are not self-hauling their waste materials must use one of the City's franchised haulers for temporary and roll-off bin collection services. Please contact Environmental Services staff at 661-286-4098 for a complete list of franchised haulers in the City.

PARKS PLANNING DIVISION

- PR1. The City's Class I Bike Path and Pedestrian walkway shall remain open during construction. If a detour is required the applicant shall submit for approval the detour plans to Parks Planning 45 days prior to implementation.
- PR2. City's Class I Bike Path shall be repaired or reconfigured to City standards along the entire length of the project frontage.
- PR3. The trail fencing shall be repaired or replaced to City standards along the entire length of the project frontage.
- PR4. The slopes along the City's Bike Path shall have a slough wall with v-ditch to prevent cross-lot drainage and debris to enter the trail. The wall shall be outside the lodge pole fencing and two feet clear from edge of AC.

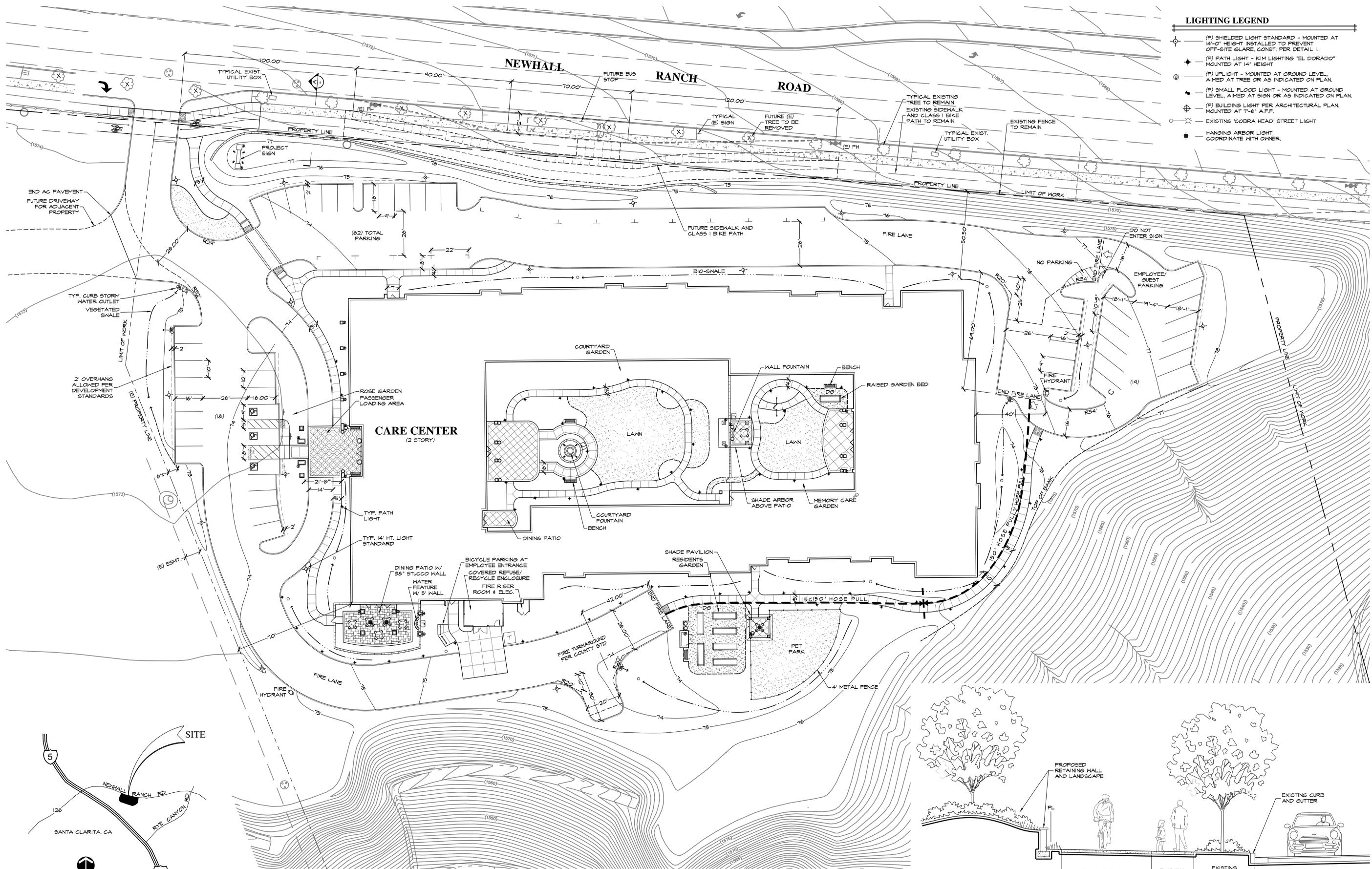
TRANSIT DIVISION

- TD1. The applicant shall be aware that there is planned fixed route bus on Newhall Ranch Road daily.
- TD2. The Transit Impact Fee does apply. Currently the rate is \$200 per residential unit and is currently under revision. The applicant shall pay the current fee at the time of final map recordation or building permit issuance, whichever comes first.
- TD3. The applicant shall provide an irrevocable offer of dedication for a future bus stop on Eastbound Newhall Ranch Road far side of the driveway. Dimensions of this area shall be 280' in length and 12' in width.
- Future bus stop will consist of turnout, and a 10' x 25' concrete passenger waiting pad constructed within the parkway in front of the sidewalk. An example of this bus stop is attached.
 - Please show future bus stop on site plans.
- TD4. The proposed bus stop may require additional right of way (ROW) as approved by the City Engineer.

- TD5. The bus stop location shall be a minimum of 100' from the curb return or as specified by city staff.
- TD6. At the location of the bus stop, the sidewalk shall meet the street for no less than 25'.
- TD7. At the bus stop a bus turnout/pullout shall be constructed to the required dimensions as determined by the Department of Public Works and the City's Transit Division.
- TD8. The bus stop shall be shown and labeled on the site plan.
- TD9. Due to the proposed use of the project, the applicant shall provide a dedicated passenger loading and un-loading area with appropriate "turn around" area on-site capable of accommodating a van with the approximate dimensions of: 9'h x 8'w x 23'l. In addition, there should be an 8' free and clear area for wheelchair access to the front door of the van. Please contact the Transit Division for additional information regarding this comment/condition.

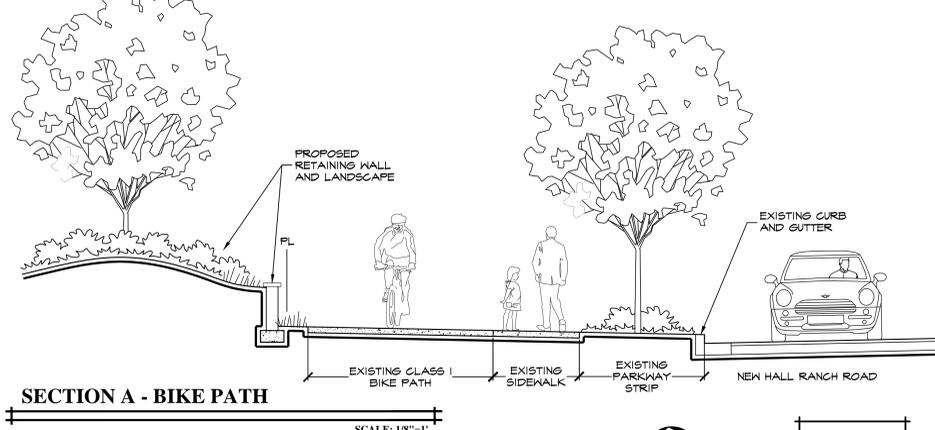
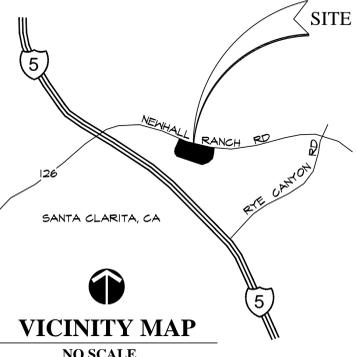
LOS ANGELES COUNTY FIRE DEPARTMENT

- FD1. The applicant shall provide a minimum access width of 26 feet clear to the sky within 150 feet of all portions of the proposed building.
- FD2. The applicant shall be aware that a fire department turn around shall be provided when the access road exceeds 150 feet in length.
- FD3. The applicant shall be aware that fire department vehicular access roads shall be provided with a 32 foot turning radius for each turn.
- FD4. The applicant shall indicate any existing public fire hydrants within 300 feet of lot frontages. Additional hydrants maybe required.
- FD5. The proposed building shall have fire sprinklers.
- FD6. The proposed building will be required to have a fire alarm system.
- FD7. The applicant shall provide the occupancy and construction type of the proposed building.
- FD8. A complete set of architectural plans shall be submitted and approved prior to the issuance of a building permit.



LIGHTING LEGEND

- (P) SHIELDED LIGHT STANDARD - MOUNTED AT 14'-0" HEIGHT, INSTALLED TO PREVENT OFF-SITE GLARE, CONST. PER DETAIL 1.
- (P) BATH LIGHT - KIM LIGHTING "EL DORADO" MOUNTED AT 14' HEIGHT
- (P) UPLIGHT - MOUNTED AT GROUND LEVEL, AIMED AT TREE OR AS INDICATED ON PLAN.
- (P) SMALL FLOOD LIGHT - MOUNTED AT GROUND LEVEL, AIMED AT SIGN OR AS INDICATED ON PLAN.
- (P) BUILDING LIGHT PER ARCHITECTURAL PLAN, MOUNTED AT 1'-6" A.F.F.
- (X) EXISTING 'COBRA HEAD' STREET LIGHT
- (H) HANGING ARBOR LIGHT, COORDINATE WITH OWNER.



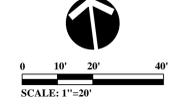
OAKMONT OF SANTA CLARITA

LANDESIGN GROUP
3344 GRAVENSTEIN HWY. N. SEBASTOPOI, CA
(707) 829-2580

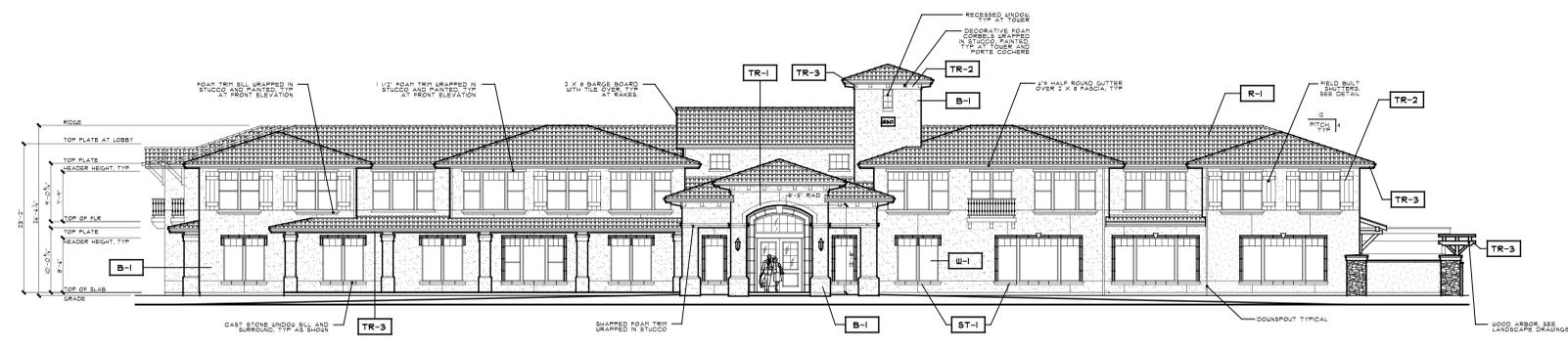
MAY 2014

NEWHALL RANCH ROAD
SANTA CLARITA, CALIFORNIA

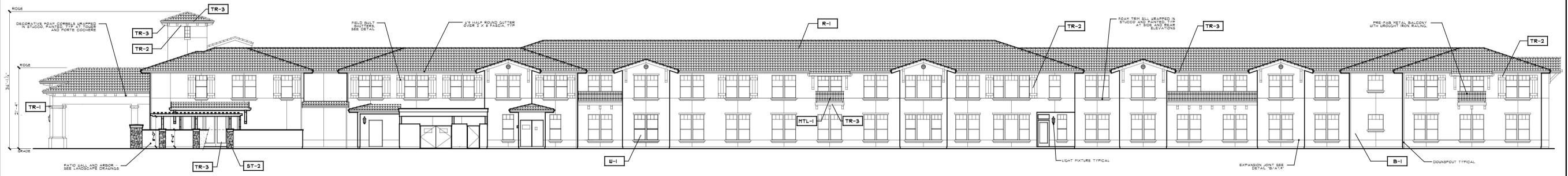
OAKMONT SENIOR LIVING



SHEET:
1



WEST ELEVATION
 SCALE: 3/32" = 1'-0"



SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"

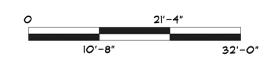


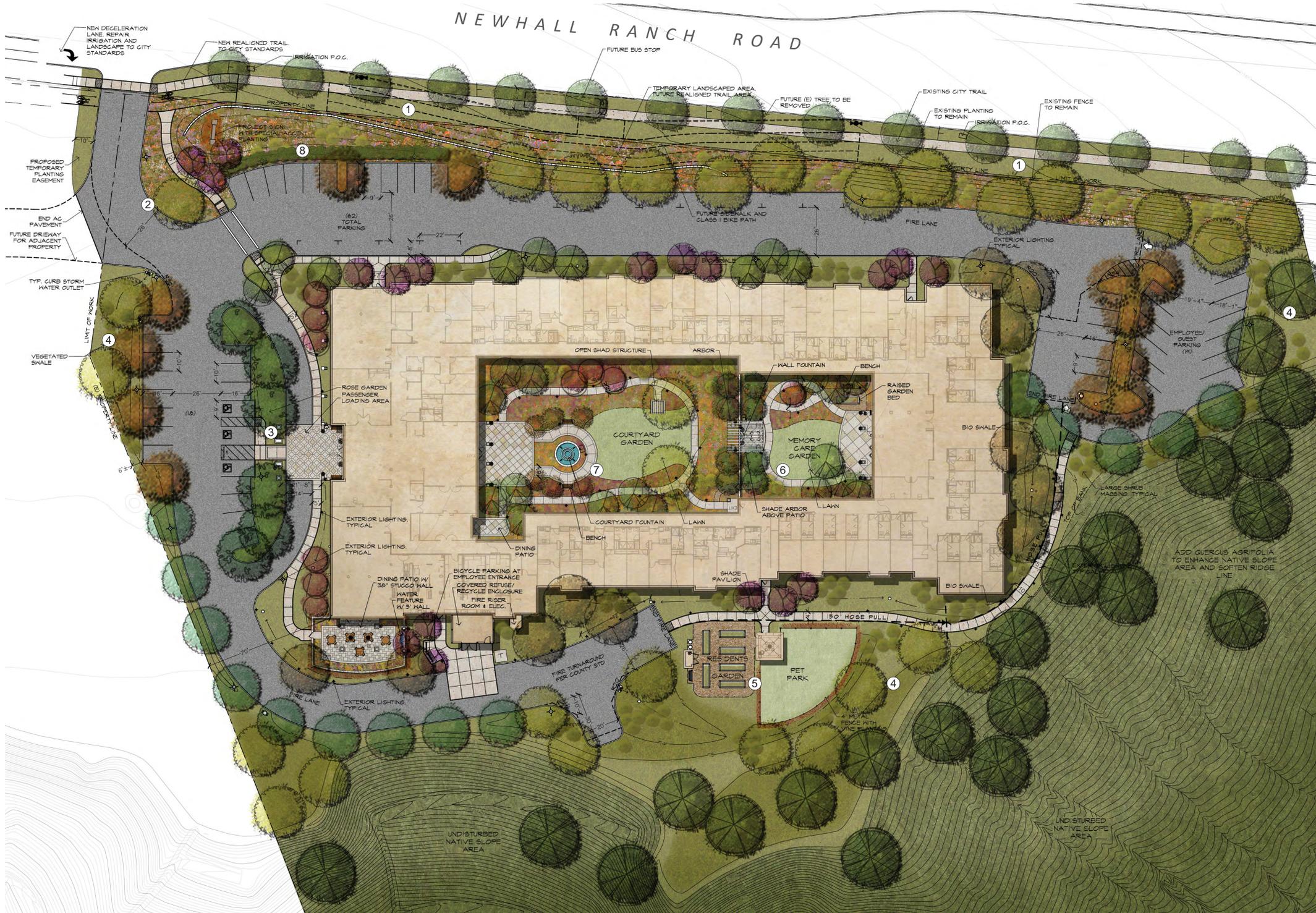
EAST ELEVATION
 SCALE: 3/32" = 1'-0"

COLOR AND MATERIAL SCHEDULE			
FINISH TAG	SUBJECT	MANUFACTURER/MATERIAL	COLOR
R-1	ROOF	3/8" O.D. CLAY TILES OVER 1/2" CLAY ROOF DECK	OLD WORLD BLEND
B-1	BODY	EXTERIOR STUCCO FINISH SAND FINISH	VELLY MOORE SAND PEARLS #11
TR-1	TRIM	EXTERIOR WOOD TRIM SEE ELEVATIONS FOR DETAIL KEYS AND CALL-OUTS	VELLY MOORE NAVY BLUE #31
TR-2	TRIM	EXTERIOR WOOD TRIM SEE ELEVATIONS FOR DETAIL KEYS AND CALL-OUTS	VELLY MOORE ARNOLD #1018-3
TR-3	TRIM	EXTERIOR WOOD TRIM SEE ELEVATIONS FOR DETAIL KEYS AND CALL-OUTS	VELLY MOORE ARNOLD #1018-3
W-1	WINDOWS	VINYL FRAMES	ALMOND BARK FINISH
MTL-1	BROUGHT IRON	MANUFACTURER VARIES	ALL BROUGHT IRON TO BE POWDER COATED COLOR: 'KAT' BLACK
ST-1	CAST STONE TRIM	EL DORADO STONE	IVORY
ST-2	STONE VENEER	EL DORADO STONE	ESQUADRE BLEND (GRADE W/ RUBBLE GROUT) 50% DORADO



NORTH ELEVATION
 SCALE: 3/32" = 1'-0"





SUGGESTED PLANT PALETTE

BOTANICAL NAME	COMMON NAME	SIZE & SPACE	WUCOLS
STREET TREE			
EXISTING CITY STREET TREE TO REMAIN	KOELREUTERIA SPP.		
SLOPE AND SCREEN TREES			
PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	24" / 36" BOX	MEDIUM
QUERCUS AGRIFOLIA	CALIFORNIA LIVE OAK	24" / 36" BOX	LOW
GEUERA PARVIFLORA	AUSTRALIAN WILLOW	24" / 36" BOX	LOW
PARKING & DRIVE LANE TREES			
ARBUTUS 'MARINA'	MARINA STRAWBERRY TREE	24" / 36" BOX	MEDIUM
OLEA 'SWAN HILL'	FRUITLESS OLIVE	24" BOX	LOW
CINNAMOMUM CAMPHORA	CAMPHOR TREE	24" BOX	MEDIUM
ACCENT TREES			
CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	24" / 36" BOX	MEDIUM
CHITALPA TASHKENTENSIS	CHITALPA	24" BOX	LOW
LAGERSTROEMIA INDICA	GRAPE MYRTLE	24" / 36" BOX	MEDIUM
BRACHYCHITON POPULNEUS	BOTTLE TREE	24" BOX	MEDIUM
ACCENT SHRUBS:			
DASYLIRION LONGISSIMA	MEXICAN GRASS TREE	5 GAL @ 60" OC	LOW
DASYLIRION WHEELERI	DESERT SPOON	5 GAL @ 48" OC	LOW
HESPERALOE PARVIFLORA	RED HESPERALOE	5 GAL @ 48" OC	VERY LOW
GRASSES:			
HELICOTRICHON SEMP.	BLUE OAT GRASS	5 GAL @ 48" OC	MEDIUM
JUNCUS 'ELK BLUE'	CALIFORNIA RUSH	1 GAL @ 24" OC	MEDIUM
MUHLENBERGIA VAR.	'REGAL MIST'	5 GAL @ 48" OC	LOW
MUHLENBERGIA RIGENS	DEER GRASS	5 GAL @ 72" OC	LOW
SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	5 GAL @ 36" OC	MEDIUM
SHRUBS:			
AGONIS F. 'JERVIS BAY'	AFTER DARK PEPPERMINT	15 GAL @ 60" OC	MEDIUM
ARBUTUS UNEDO 'COMPACTA'	STRAWBERRY TREE	15 GAL @ 60" OC	LOW
BACCHARIS 'TWIN PEAKS'	DWARF COYOTE BUSH	1 GAL @ 72" OC	LOW
CALLISTEMON VAR.	'LITTLE JOHN'	5 GAL @ 48" OC	LOW
CISTUS X PURPUREUS	ORCHID ROCK ROSE	5 GAL @ 72" OC	LOW
CISTUS X HYBRIDUS	WHITE ROCK ROSE	5 GAL @ 60" OC	LOW
CISTUS CRISPUS	ROCK ROSE	1 GAL @ 24" OC	LOW
DIANELLA TAS. 'VARIEGATA'	WHITE STRIPED FLAX LILY	5 GAL @ 48" OC	MEDIUM
DODONAEA VIS. 'PURPUREA'	PURPLE LEAF HOP-BUSH	15 GAL @ 10" OC	LOW
DIELES BICOLOR	BICOLOR DIETES	5 GAL @ 54" OC	MEDIUM
EUONYMUS JAPONICUS	GOLDEN EUONYMUS	5 GAL @ 36" OC	MEDIUM
FELJOA SELLOWIANA	PINEAPPLE GUAVA	15 GAL @ 10" OC	LOW
LAVANDULA STOCHAS	SPANISH LAVENDER	5 GAL @ 60" OC	LOW
MAHONIA VAR.	'GOLDEN ABUNDANCE'	5 GAL @ 54" OC	LOW
PHLOMIS LANATA	PHLOMIS	5 GAL @ 54" OC	LOW
PITTOSPORIUM TOBIRA	VARIATED TOBIRA	15 GAL @ 72" OC	MEDIUM
RHAPHIOLEPSIS VAR	'CLARA'	5 GAL @ 54" OC	MEDIUM
RHAPHIOLEPSIS VAR	'JACK EVANS'	5 GAL @ 54" OC	MEDIUM
RHAPHIOLEPSIS UMBELLATA	YEDDO HAWTHORN	5 GAL @ 54" OC	MEDIUM
RHAMNUS ALATERNUS VAR.	VARIATED BUCKTHORN	15 GAL @ 10" OC	LOW
ROSA 'HYBRID TEA'	HYBRID TEA ROSE	5 GAL @ 48" OC	MEDIUM
ROSA 'ICEBERG'	WHITE SHRUB ROSE	5 GAL @ 48" OC	MEDIUM
SALVIA CLEVELANDII	CALIFORNIA SAGE	5 GAL @ 72" OC	VERY LOW
SALVIA LEUCANTHA	SANTA BARBARA SAGE	5 GAL @ 48" OC	LOW
SALVIA WAVERLY	WAVERLY SAGE	5 GAL @ 54" OC	MEDIUM
TEUCCRIUM FRUTICANS	'AZUREUM' GERMANDER	1 GAL @ 24" OC	LOW
TAGETES LEMONII	COPPER CANYON DAISY	5 GAL @ 60" OC	LOW
HEADLIGHT HEDGE:			
LIGUSTRUM JAPONICUM	JAPANESE PRIVET	15 GAL	MEDIUM
PHOTINIA X FRASERI	PHOTINIA RED ROBIN	LEAF TO LEAF	MEDIUM
VINES:			
DISTICTIS SPP.	TRUMPET VINE	5 GAL AS SHOWN	MEDIUM
TRACHELOSPERMUM JAS.	STAR JASMINE	5 GAL AS SHOWN	MEDIUM
WISTERIA	WISTERIA	5 GAL AS SHOWN	MEDIUM
VITIS CALIFORNICA	CALIFORNIA GRAPE	5 GAL AS SHOWN	VERY LOW
GROUNDCOVERS:			
BACCHARIS 'TWIN PEAKS'	DWARF COYOTE BUSH	1 GAL @ 72" OC	LOW
JUNIPERUS CONFERTA	'PACIFIC BLUE'	5 GAL @ 60" OC	LOW
MYOPORIUM PARVIFLORA	MYOPORIUM PUTAH CREEK	1 GAL @ 72" OC	LOW
ROSA 'FLOWERING CARPET'	FLOWERING CARPET	5 GAL @ 48" OC	MEDIUM
ROSMARINUS VAR.	'IRENE' ROSEMARY	1 GAL @ 60" OC	LOW
TRACHELOSPERMUM JAS.	STAR JASMINE	1 GAL @ 48" OC	MEDIUM
TURF:			
MARATHON II			HIGH

OWNER:
 OAKMONT SENIOR LIVING
 220 CONCOURSE BOULEVARD
 SANTA ROSA, CALIFORNIA 95403
 ATTENTION: KEN KIDD
 TELEPHONE: 707.535.3249

LANDSCAPE CONSULTANTS:
 GAUDET DESIGN GROUP
 2109 STONER AVENUE
 WEST LOS ANGELES, CA 90025
 310.828.4908

OAKRIDGE LANDSCAPE, INC.
 28064 AVENUE STANFORD UNIT K
 VALENCIA, CA 91355



DESIGN INTENT:

- FRONTAGE LANDSCAPE:** TO PROVIDE SHRUBS FOR SCREENING OF PARKED VEHICLES AND UTILITIES WHICH ACT AS A BACKGROUND FOR STREETSCAPE LANDSCAPING. THE CORRIDOR SHALL CONFORM TO (E) THEMES OF THE NEIGHBORHOOD
- FRONT ENTRY:** MAINTAIN VEHICULAR VISIBILITY TRIANGLES FOR TRAFFIC AND PEDESTRIAN SAFETY. COLORFUL PERENNIALS AND SHRUBS TO BE USED ON EITHER SIDE, TO CREATE A SENSE OF ENTRY
- ROSE GARDEN:** PEDESTRIANS ENTER ON AN ENHANCED COLORED CONCRETE SIDEWALK. THEY PASS THROUGH A SMALL ROSE GARDEN SURROUNDED BY COLORFUL PLANTS ON EACH SIDE OF THE PARKING LOT. THIS FEATURE IS DESIGNED TO CREATE A SEPARATE SENSE OF ENTRY AND SERVE AS A FOCAL POINT.
- REAR & SIDE LANDSCAPES:** SCREEN AND PROVIDE PRIVACY TO RESIDENTS AND NEIGHBORS WHILE PROVIDING SECURITY AND SAFETY. A MIX OF CALIFORNIA NATIVE, AND DROUGHT TOLERANT TREES, SHRUBS, AND GROUNDCOVERS TO BE USED ALONG THE EAST, WEST, AND SOUTH PROPERTY LINES. SLOPE SHRUB AND GROUNDCOVER PLANTING TO REMAIN UNDISTURBED, WITH ADDITIONAL OAK TREES PLANTED TO SOFTEN RIDGE LINE AND BUILDING FROM ADJACENT PROPERTIES.
- AMENITY AREAS:** THE GARDEN AND PET PARK AREAS WILL PROVIDE INTERACTIVE OPPORTUNITIES TO THE FACILITY'S RESIDENTS. THE DG PATHS BLEND WITH NATIVE, AND DROUGHT TOLERANT LANDSCAPE. THE SHADE PAVILION AND TURF AREA PROVIDE A RECREATIONAL SPOT FOR RESIDENTS AND SMALL ANIMALS.
- MEMORY CARE GARDEN:** PATIENTS WITH SPECIAL NEEDS ARE PROVIDED WITH A DEDICATED PRIVATE AND SAFE GARDEN. PLANTINGS HERE FOCUS ON TEXTURE, SAFETY, AND SERENITY. THE INTIMATE OPEN SPACES OF TURF AND GROUNDCOVER ARE DEDICATED TO THERAPEUTIC ACTIVITY.
- COURTYARD GARDEN:** COURTYARD RECREATION AND RELAXATION ARE ENHANCED BY ORNAMENTAL TREES, SHRUBS, AND PERENNIALS. THE FOCAL POINT IS A MULTI-TIERED FOUNTAIN SURROUNDED BY FLOWERING ANNUALS.
- HEADLIGHT HEDGE:** FULL SCREENING OF PARKING CAR HEADLIGHTS FROM STREET



June 16th, 2014

OAKMONT OF SANTA CLARITA Senior Living LANDSCAPE PLAN

Lot 2, PM 194163, Newhall Ranch Road, Santa Clarita, California

SCALE: 1" = 20'-0"



**Visual Simulations:
Master Case 14-041**

Existing Condition:



Site looking west from bike path along Newhall Ranch Road.

Existing Condition:



Site entrance near Newhall Ranch Road, looking southeast.

Existing Condition:



Southern slope of site looking southeast.

Existing Condition:



Looking north from the site's southern boundary.

Proposed Condition:



Proposed site looking east from Newhall Ranch Road.

Proposed Condition:



Proposed site looking east from Newhall Ranch Road.

Proposed Condition:



Proposed site looking north from southern boundary.

CITY OF SANTA CLARITA
MITIGATED NEGATIVE DECLARATION

Proposed Final

MASTER CASE NO: Master Case #14-041

PERMIT/PROJECT NAME: Oakmont Senior Living
Master Case No. #14-041, Conditional Use Permit 14-005, Initial Study 14-002

APPLICANT: Oakmont Senior Living
220 Concourse Blvd.
Santa Rosa, CA 95403

LOCATION OF THE PROJECT: The subject property is located south of Newhall Ranch Road between West Rye Canyon Road and Vanderbilt Way at APN 2866-035-006 in the City of Santa Clarita.

DESCRIPTION OF THE PROJECT: The project includes the construction of a two-story, 81 unit Residential Health Care Facility (senior apartment complex) at APN 2866-035-006, commonly referred to as the Ford Court property. The subject property is in the Business Park (BP) zone. The facility would provide on-site medical care and lifestyle activities for seniors, a specific portion of which suffer from Alzheimer's Disease.

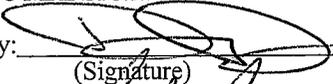
Based on the information contained in the Initial Study prepared for this project, and pursuant to the requirements of Section 15070 of the California Environmental Quality Act (CEQA), the City of Santa Clarita

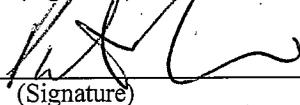
City Council Planning Commission Director of Planning and Building Services

finds that the project as proposed or revised will have no significant effect upon the environment, and that a Negative Declaration shall be adopted pursuant to Section 15070 of CEQA.

Mitigation measures for this project
 Are Not Required Are Attached Are Not Attached

Jeff W. Hogan, AICP
PLANNING MANAGER

Prepared by:  David Peterson, Assistant Planner II
(Signature) (Name/Title)

Approved by:  Patrick Leclair, Associate Planner
(Signature) (Name/Title)

Public Review Period From May 13, 2014 To June 3, 2014
Public Notice Given On May 13, 2014

Legal Advertisement Posting of Properties Written Notice

CERTIFICATION DATE:

**INITIAL STUDY
CITY OF SANTA CLARITA**



- Project Title/Master Case Number:** Master Case #14-041,
Conditional Use Permit 14-005, Initial Study 14-002.
- Lead Agency name and address:** City of Santa Clarita
23920 Valencia Boulevard, Suite 300
Santa Clarita, CA 91355
- Contact person and phone number:** David Peterson
Assistant Planner II
(661) 284-1406
- Project location:** The subject property is located south of Newhall Ranch Road between West Rye Canyon Road and Vanderbilt Way at APN 2866-035-006 in the City of Santa Clarita. The location of the subject property is also identified in Exhibit A, as provided below.
- Applicant's name and address:** Oakmont Senior Living
220 Concourse Blvd.
Santa Rosa, CA 95403
- General Plan designation:** The current General Plan land use designation is Business Park (BP)
- Zoning:** The current zoning designation of the subject property is Business Park (BP).
- Description of project and setting:**

This initial study was prepared pursuant to the California Environmental Quality Act (CEQA) for a Conditional Use Permit regarding the development of an 81-unit residential health care facility. The project site is vacant and approximately 8 acres in size. The current General Plan Land Use designation and zoning designation on the project site is Business Park (BP).

The following is a description of the project and the setting for the proposed 81-unit development:

Setting:

The proposed project consists of an 8-acre site that is located in a developed portion of the City. The project site is located south of Newhall Ranch Road between West Rye Canyon Road and Vanderbilt Way at APN 2866-035-006 in the City of Santa Clarita. Newhall Ranch Road is a major arterial that serves as a part of the Cross-Valley Connector which provides vehicles with a

link between Interstate 5 and State Route 14. The project site is bounded on the east, south and west by other Business Park uses including office, warehouse, and light manufacturing. The project site is bounded on the north by property owned by the Southern California Gas Company. The property to the north of the project site is currently used for underground storage of natural gas.

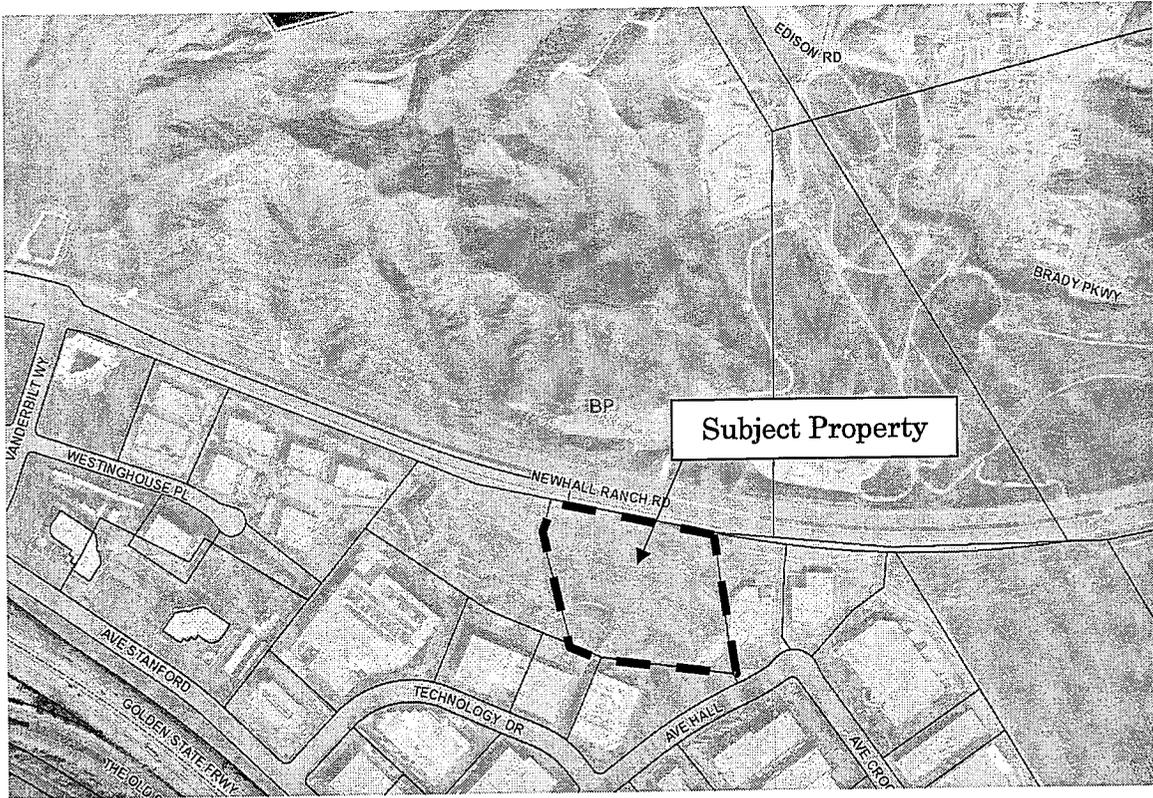
The project site is currently vacant and consists of a certified pad created during the extension of Newhall Ranch Road in 2007. Approximately 4 acres of the project site are flat, while the remaining area slopes down from the flat portion of the project site from an elevation of 1,130 feet to 1,050 feet. The slope is engineered and the project will only occupy the upper flat pad portion of the project site. No development is proposed to occur on the slope. There are no current land uses on the project site.

Project:

The project proposes an 81-unit residential health care facility on an eight acre site. Approximately four acres of the subject property are proposed to be developed with the remaining four acres consisting of existing engineered slopes. The project includes the following entitlement:

- **Conditional Use Permit – Residential Health Care Facility in Business Park zone:** Section 17.42.010 (Residential Permitted Use Chart) requires residential health care facilities to secure a Conditional Use Permit.

EXHIBIT A: PROJECT LOCATION & ZONING



A. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or a "Less than Significant Impact with Mitigation" as indicated by the checklist on the following pages.

- | | | |
|--|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture Resources | <input type="checkbox"/> Air Quality |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Geology /Soils |
| <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology / Water Quality | <input type="checkbox"/> Land Use / Planning |
| <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Population / Housing |
| <input type="checkbox"/> Public Services | <input type="checkbox"/> Recreation | <input type="checkbox"/> Transportation/Traffic |
| <input type="checkbox"/> Utilities / Service Systems | <input type="checkbox"/> Mandatory Findings of Significance | |

B. DETERMINATION:

On the basis of this initial evaluation:

- I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- I find that the proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed.
- I find that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.



David Peterson, Assistant Planner II

5/12/14

Date



Patrick Leclair, Associate Planner

5/12/14

Date

C. EVALUATION OF ENVIRONMENTAL IMPACTS:

Potentially Significant Impact Less Than Significant with Mitigation Less Than Significant Impact No Significant Impact

I. AESTHETICS - Would the project:

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|-------------------------------------|
| a) Have a substantial adverse effect on a scenic vista? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) Substantially damage scenic resources, including, but not limited to, primary/secondary ridgelines, trees, rock outcroppings, and historic buildings within a state scenic highway? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c) Substantially degrade the existing visual character or quality of the site and its surroundings? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| d) Create a new source of substantial light or glare that would adversely affect day or nighttime views in the area? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| e) Other _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

II. AGRICULTURAL RESOURCES - In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. Would the project:

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b) Conflict with existing zoning for agricultural use, or a Williamson Act contract? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d) Other _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Potentially Significant Impact Less Than Significant Impact with Mitigation Less Than Significant Impact No Significant Impact

III. AIR QUALITY - Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|-------------------------------------|
| a) Conflict with or obstruct implementation of the applicable air quality plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions that exceed quantitative thresholds for ozone precursors)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| d) Expose sensitive receptors to substantial pollutant concentrations? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| e) Create objectionable odors affecting a substantial number of people? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f) Other _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

IV. BIOLOGICAL RESOURCES - Would the project:

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Significant Impact
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or US Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Affect a Significant Ecological Area (SEA) or Significant Natural Area (SNA) as identified on the City of Santa Clarita ESA Delineation Map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
V. CULTURAL RESOURCES - Would the project:				
a) Cause a substantial adverse change in the significance of a historical resource as defined in '15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Significant Impact
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to '15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Directly or indirectly destroy or impact a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

VI. GEOLOGY AND SOILS - Would the project:

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:

i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii) Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii) Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iv) Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in substantial wind or water soil erosion or the loss of topsoil, either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Significant Impact
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1997), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Change in topography or ground surface relief features?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Earth movement (cut and/or fill) of 10,000 cubic yards or more?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Development and/or grading on a slope greater than 10% natural grade?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) The destruction, covering or modification of any unique geologic or physical feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j) Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

VII. GREENHOUSE GAS EMISSIONS- Would the project:

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gasses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

VIII. HAZARDS AND HAZARDOUS MATERIALS - Would the project:

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Significant Impact
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving explosion or the release of hazardous materials into the environment (including, but not limited to oil, pesticides, chemicals, fuels, or radiation)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
i) Exposure of people to existing sources of potential health hazards (e.g. electrical transmission lines, gas lines, oil pipelines)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
j) Other _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

IX. HYDROLOGY AND WATER QUALITY - Would the project:

a) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Significant Impact
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
h) Place, within a 100-year flood hazard area, structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
j) Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
k) Changes in the rate of flow, currents, or the course and direction of surface water and/or groundwater?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) Other modification of a wash, channel creek or river?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
l) Impact Stormwater Management in any of the following ways:				
i) Potential impact of project construction and project post-construction activity on storm water runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
ii) Potential discharges from areas for materials storage, vehicle or equipment fueling, vehicle or equipment maintenance (including washing), waste handling, hazardous materials handling or storage, delivery areas or loading docks, or other outdoor work areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iii) Significant environmentally harmful increase in the flow velocity or volume of storm water runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
iv) Significant and environmentally harmful increases in erosion of the project site or surrounding areas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Impact
v) Storm water discharges that would significantly impair or contribute to the impairment of the beneficial uses of receiving waters or areas that provide water quality benefits (e.g. riparian corridors, wetlands, etc.)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
vi) Cause harm to the biological integrity of drainage systems, watersheds, and/or water bodies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
vii) Does the proposed project include provisions for the separation, recycling, and reuse of materials both during construction and after project occupancy?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

X. LAND USE AND PLANNING - Would the project:

a) Disrupt or physically divide an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Conflict with any applicable habitat conservation plan, natural community conservation plan, and/or policies by agencies with jurisdiction over the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

XI. MINERAL AND ENERGY RESOURCES - Would the project:

a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Significant Impact
b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Use nonrenewable resources in a wasteful and inefficient manner?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
XII. NOISE - Would the project result in:				
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact Less Than Significant Impact with Mitigation Less Than Significant Impact No Significant Impact

XIII. POPULATION AND HOUSING - Would the project:

- | | | | | |
|---|--------------------------|--------------------------|-------------------------------------|-------------------------------------|
| a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere (especially affordable housing)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

XIV. PUBLIC SERVICES - Would the project result in:

- a) Substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:
- | | | | | |
|------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| i) Fire protection? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| ii) Police protection? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| iii) Schools? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| iv) Parks? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Potentially Significant Impact Less Than Significant with Mitigation Less Than Significant Impact No Significant Impact

XV. RECREATION - Would the project:

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) Include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

XVI. TRANSPORTATION/TRAFFIC - Would the project:

- | | | | | |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Cause an increase in traffic which is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume to capacity ratio on roads, or congestion at intersections)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| b) Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads or highways? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| e) Result in inadequate emergency access? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

	Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Significant Impact
f) Result in inadequate parking capacity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Hazards or barriers for pedestrians or bicyclists?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

XVII. UTILITIES AND SERVICE SYSTEMS - Would the project:

a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less Than Significant with Mitigation	Less Than Significant Impact	No Significant Impact
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g) Comply with federal, state, and local statutes, and regulations related to solid waste?

XVIII. MANDATORY FINDINGS OF SIGNIFICANCE:

a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?

b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?

c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?

XIX. DEPARTMENT OF FISH AND GAME 'DE MINIMUS' FINDING

a) Will the project have an adverse effect either individually or cumulatively, on fish and wildlife resources? Wildlife shall be defined for the purpose of this question as "all wild animals, birds, plants, fish, amphibians, and related ecological communities, including the habitat upon which the wildlife depends for it's continued viability."

D. DISCUSSION OF ENVIRONMENTAL IMPACTS AND/OR EARLIER ANALYSIS:

Section and Subsections	Evaluation of Impacts
<p>I. AESTHETICS</p>	<p>a) <u>Less than Significant Impact:</u> The City of Santa Clarita is located within Southern California's Santa Clarita Valley, which is bounded by the San Gabriel Mountains to the south and east, the Santa Susana Mountains to the southwest, and the mountains of the Los Padres and Angeles National Forests to the north. The surrounding natural mountains and ridgelines, some of which extend into the City, provide a visual backdrop for much of the City. Other scenic resources within or visible from the City include the Santa Clara River corridor, forested/vegetated land, and a variety of canyons and natural drainages in portions of the City.</p> <p>The project site is located in an urbanized area of the City with existing development to the west, east and south. Property owned by the Gas Company is north of the subject property, across Newhall Ranch Road. While the proposed project will alter the existing condition of the project site for the construction of the 81-unit development, it is not located in proximity to any scenic vistas.</p> <p>The proposed project is subject to the City of Santa Clarita's Community Character and Design Guidelines. As a result, the proposed structure will incorporate 360-degree architecture, creative landscape planning and building materials to enhance the appearance of the structure and its compatibility with both surrounding development and green space.</p> <p>Therefore, the development of the project site will have a less than significant impact on scenic vistas.</p> <p>b) <u>Less than Significant Impact:</u> The project site is not located on, or adjacent to, any state scenic highway. There are no scenic resources within visual proximity of the project site. No historic buildings or rock outcroppings are located on or near the project site.</p> <p>Therefore, the proposed project would have less than significant impacts on scenic resources.</p> <p>c) <u>Less than Significant Impact:</u> The project proposes to locate an 81-unit residential health care facility on-site on a prepared, certified pad. The project site is in an urbanized area and between fully improved commercial uses within a business park.</p>

	<p>The proposed development would be consistent with the type, density and massing of the surrounding area.</p> <p>Therefore, the proposed project would have less than significant impacts on the visual character of the site and its surroundings.</p> <p>d) <u>Less than Significant Impact:</u> The proposed project includes the construction of an 81-unit residential health care facility in an urbanized area and between fully improved commercial uses within a business park. In accordance with the City of Santa Clarita's Unified Development Code, all proposed outdoor lighting will be covered and facing down in order to minimize the creation of glare. In addition, the proposed project is located within a business park with existing street lighting, parking lot lighting, and lighting on commercial buildings. The proposed use will not add a significant amount of lighting to the existing lighting of the area. The proposed structure is residential in nature and will not consist of large sections of sheet glass similar to those on commercial/office developments, thereby reducing glare compared to other types of projects contemplated within a Business Park zone. Further, mature landscaping including trees and tall shrubs will be planted near the structure to soften its appearance and to hide potential window glare whenever possible.</p> <p>Therefore, the proposed project would have less than significant impacts on light or glare that would adversely affect day or nighttime views in the area.</p>
<p>II. AGRICULTURAL RESOURCES</p>	<p>a-c) <u>No Impact:</u> The proposed project includes the construction of an 81-unit residential health care facility in an urbanized area and between fully improved commercial within a business park. The current General Plan land use and zoning designation of Business Park allows for commercial horticultural uses, however no agricultural uses are proposed for the project site, nor will any agricultural uses be impacted or displaced as a result of the proposed project. Further, there is no prime farmland or land under a Williamson Act contract within the project area.</p> <p>Therefore, no impact related to agricultural resources is anticipated as a result of the proposed project.</p>
<p>III. AIR QUALITY</p>	<p>a) <u>Less than Significant Impact:</u> The Santa Clarita Valley, and interior valley of Southern California, is within the South Coast Air Basin, which is bounded by the San Gabriel, San Bernardino, and San Jacinto Mountains to the north and east, and the Pacific Ocean to</p>

the south and west. The air quality in the South Coast Air Basin is managed by the South Coast Air Quality Management District (SCAQMD).

The South Coast Air Basin has a history of recorded air quality violations and is an area where both state and federal ambient air quality standards are exceeded. Because of the violations of the California Ambient Air Quality Standards (CAAQS), the California Clean Air Act requires triennial preparation of an Air Quality Management Plan (AQMP) to achieve the standards. The South Coast Air Quality Management District (SCAQMD) prepares the basin's air quality management plans with technical and policy inputs from the U.S. Environmental Protection Agency (EPA), the California Air Resource Board (CARB), and the Southern California Association of Governments (SCAG). This plan is the South Coast Air Basin's portion of the State Implementation Plan (SIP). The SIP outlines steps required to achieve the standards while allowing for growth projected by the Southern California Association of Governments.

The AQMP accommodates growth based SCAG's predictions. Future regional levels of vehicular air pollution identified in the AQMP are based on SCAG's growth forecasts in the Regional Comprehensive Plan (RCP) coupled with the Regional Transportation Plan (RTP). Thus, projects that are consistent with employment and population forecasts are consistent with the AQMD. These forecasts are predicted using local land use plans, particularly zoning and general plan land use designations.

The proposed use is less intensive than the highest use that could be supported on the subject property. The subject property could support a commercial office use of 60,000 square feet. Thus, the project is consistent with the growth projections accommodated by the AQMP. Therefore, the proposed project would not conflict with or obstruct implementation of the applicable air quality plan, and would have less than significant associated impacts.

b) **Less than Significant Impact:** Air quality standards in Southern California are identified by both the United States Environmental Protection Agency (USEPA) in the National Ambient Air Quality Standards (NAAQS) and the California Air Resources Board (CARB) in the California Ambient Air Quality Standards (CAAQS). These standards have been established for five pollutants – ozone (O₃), carbon monoxide (CO), nitrogen dioxide (NO₂), sulfur dioxide (SO₂), fine particulate matter (PM₁₀), and lead. The South

Coast Air Basin (SCAB) is managed by the South Coast Air Quality Management District (SCAQMD).

Emissions for the project will be created both in the short term during the grading and construction process as well as during the operation of the project once grading and construction is completed and the proposed units are occupied.

Impacts from Grading and Construction

The proposed project will be constructed on a previously prepared and certified pad. No further rough grading will occur on site. Minor fine grading will be performed during the grading process for building pad preparation. Minor emissions will also be generated as part of the construction process. All standard best management practices for dust control and air quality control will be in place during these activities. Therefore, impacts from grading and construction will be less than significant.

Impacts from Operation of the Proposed Project

The project proposes a residential structure within a Business Park zone. The proposed use is less intensive than the highest use that could be supported on the subject property and will, therefore, result in significantly fewer vehicle trips. The subject property could support a commercial office use of 60,000 square feet. The ITE Land Use estimates that the proposed use would generate approximately one-tenth the daily trips as the highest use of the property. The proposed use will not produce any commercial or industrial emissions and be subject to all current federal and state building codes for energy efficiency and green building design. This will reduce the environmental footprint and, thus, the emission footprint of the proposed project. Therefore, impacts from operation of the proposed project will be less than significant.

c) **Less than Significant Impact:** The City of Santa Clarita is within the South Coast Air Basin (SCAB). This basin is a non-attainment area for Ozone (O₃), Fine Particulate Matter (PM_{2.5}), Respirable Particulate Matter (PM₁₀), and Carbon Monoxide (CO), and is in a maintenance area for Nitrogen Dioxide (NO₂). The proposed project would generate O₃, PM_{2.5}, PM₁₀, CO, and NO₂ during both construction and operation. During the construction of the proposed project, it is anticipated that there will be an increase in dust and vehicle emissions related to the grading and construction equipment used on the project site. Since the site was previously

	<p>graded, the project will require minor grading for building pad preparation to create a certified building pad.</p> <p>The proposed project includes the construction of an 81-unit residential health care facility in an urbanized area and between fully improved commercial uses within a business park. The project will balance material on-site, requiring approximately 3,500 cubic yards of cut and fill. As a result, all temporary increases to construction related emissions would be addressed through the implementation of standard Best Management Practices.</p> <p>Therefore, with mitigation the project will have less than significant impacts on criteria pollutants.</p> <p>d) <u>Less than Significant Impact:</u> The proposed project includes the construction of an 81-unit residential health care facility in an urbanized area and between fully improved commercial uses within a business park. Although construction related activities will temporarily impact air quality, these impacts will be less than significant.</p> <p>Children, and the elderly are identified as sensitive receptors. The nearest school is approximately three-quarters of one mile away, the nearest public park is over 1.5 miles away and the nearest residential development is approximately 1.5 miles away from the subject property.</p> <p>Therefore, the project will have less than significant impact to sensitive receptors.</p> <p>e) <u>No Impact:</u> The proposed use of the site and the surrounding uses are not shown on Figure 5-5 "Land Uses Associated with Odor Complaints" of the 1993 SCAQMD's CEQA Air Quality Handbook. Therefore, the proposed project would not create objectionable odors, and would have no associated impacts.</p>
IV. BIOLOGICAL RESOURCES	<p>a) <u>Less than Significant Impact:</u> The proposed project would be constructed on a previously prepared and certified pad. No native vegetation exists on the site due to prior grading activities. No previously identified candidate, sensitive, or special status species are known to occur nor have any been identified on the subject property. However, through the course of grading and construction activities, should any of these be identified, grading and construction activities shall cease until such time as proper mitigation has been implemented.</p>

Therefore there will be less than significant adverse effects, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?

b) **Less than Significant Impact:** The project site is located approximately 2,500 feet from the nearest riparian habitat, the Santa Clara River. The project site is not located in a Significant Ecological Area (SEA) nor is any habitat located on site. The project site does not contain any sensitive natural communities identified in local or regional plans, policies or regulations or by the California Department of Fish and Game or US Fish and Wildlife Service.

Therefore, the proposed project will have less than significant impacts on riparian habitat or other sensitive natural communities.

c) **No Impact:** The project is not located within a federally protected wetland as defined by Section 404 of the Clean Water Act and does not propose direct removal, filling or hydrological interruption of any kind.

d) **Less than Significant Impact:** The proposed project includes the construction of an 81-unit residential health care facility in an urbanized area and between fully improved commercial uses within a business park. It is surrounded by development on the west, east and south and by a natural gas storage facility to the north. It does not provide any link between two or more nearby open space areas and there are no waterways on site. Though wildlife can access the site from the north, wildlife activity is expected to be minimal on-site due to the proximity of adjacent development, major roadways, and human disturbance. As such, the site is not considered part of a known wildlife movement or migration corridor.

Therefore, the project will result in less than significant impacts to movement of native resident migratory fish or wildlife species.

e) **No Impact:** The subject property does not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy.

The purpose of the Oak Tree Preservation Ordinance is to protect and preserve oak trees in the City and to provide regulatory measures designed to accomplish this purpose. The ordinance indicates that it shall be the policy of the City of Santa Clarita to require the

	<p>preservation of all healthy oak trees, unless compelling reasons justify the removal of such trees. The ordinance applies to the removal, encroachment upon, and pruning of oak trees.</p> <p>There are no oak trees located on the subject property or in the vicinity of the project site that would be impacted by the proposed project.</p> <p>Therefore, the proposed project will have less than significant impacts to oak trees and will not conflict with any local policies or ordinances protecting biological resources.</p> <p>f) <u>No Impact:</u> As discussed in item “a” above, the subject property consists of a prepared and certified pad and no candidate, sensitive, or special status species have been identified. Further there are also no habitat conservation plans, natural community conservation plans, or ther approved regional, state or habitat conservation plans. The subject property is also not located in a significant environmental area.</p> <p>There is no known, conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan.</p> <p>Therefore there will be no impact from the proposed project resulting from inconsistencies with adopted plans.</p> <p>g) <u>No Impact:</u> The project site is not located in a Significant Ecological Area as identified by the City of Santa Clarita General Plan and will therefore have no impact on a Significant Ecological Area or Significant Natural Area.</p>
<p>V. CULTURAL RESOURCES</p>	<p>a-d) <u>No Impact:</u> The proposed project would not directly cause a substantial adverse change in the significance of any known cultural or archaeological resource pursuant to Section 15064.5 of the Government Code. No evidence of cultural significance was discovered during previous grading activities. However, if evidence of significant cultural resources are found during grading or construction activities, all localized activities would cease until such time as an authorized expert could identify and protect such resources as needed.</p> <p>Because no evidence suggests the project will directly or indirectly destroy or impact a unique paleontological resource or site or unique</p>

	<p>geologic feature, the project is not anticipated to have an impact related to cultural resources.</p>
<p>VI. GEOLOGY AND SOILS</p>	<p>a)</p> <p>i) <u>Less than Significant Impact:</u> The project site is not located within an Alquist-Priolo Earthquake Fault Zone. Further, no known active fault zone is mapped on the subject site. Regardless, the proposed project is required to comply with the California Building Code that establishes regulations for structures in potentially hazardous areas, in order to withstand impacts caused from localized earthquake activity. Therefore, the proposed project would not expose people or structures to potential adverse effects from the rupture of a known earthquake fault and would cause less than significant associated impacts.</p> <p>ii) <u>Less than Significant Impact:</u> The proposed structures are required to comply with the California Building Code and other construction standard codes, and are subject to inspection during construction to ensure proper construction. Conforming to these required standards will ensure the proposed project would result in less than significant impacts due to strong seismic ground shaking.</p> <p>iii) <u>Less than Significant Impact:</u> The subject property is located within areas with the potential for liquefaction as identified on the City's Seismic Hazard Zones map. All construction activities will need to be properly engineered to address this potential hazard. The extent of the impacts associated with construction in a liquefaction hazard zone are required by the building code to be addressed prior to the issuance of any permits.</p> <p>iv) <u>Less than Significant Impact:</u> The subject property is located within an earthquake-induced landslide hazard zone on the State of California Seismic Hazard Map. The proposed project would be constructed on a prepared and certified pad. No ancient or recent bedrock landslides were observed on the proposed development area and no surficial slope failures or slumps were observed within the proposed project area.</p> <p>Therefore, impacts from exposing people or structures to potential substantial adverse effects, including the risk of loss, injury, or death will be less than significant.</p> <p>b) <u>Less than Significant Impact:</u> During construction of the proposed project, the soils on-site may become exposed, and thus subject to erosion. However, the project is required to comply with</p>

existing regulations that reduce erosion potential. The proposed project will comply with SCAQMD Rule 403, which would reduce the potential for wind erosion. Similarly, water erosion during construction would be substantially reduced by complying with the National Pollution Discharge Elimination System (NPDES). The NPDES requires the construction of the project to incorporate Best Management Practices (BMPs) to reduce erosion and prevent eroded soils from washing off-site. Further, the site has been previously graded and has remained vacant, subject to these elements since 2007. The development of the site will require re-vegetation and landscape to further reduce erosion. Thus, the potential to increase erosion during any construction activity would be effectively mitigated through the required compliance activities.

Therefore, a less than significant impact to wind or water soil erosion is anticipated as a result of the proposed project.

c) **Less than Significant Impact:** The subject property is located within an earthquake-induced landslide hazard zone on the State of California Seismic Hazard Map. The proposed project would be constructed on a prepared and certified pad ensuring proper construction. Further, no ancient or recent bedrock landslides were observed on the proposed development area and no surficial slope failures or slumps were observed within the proposed project area.

Therefore, impacts causing structures to become unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse are anticipated to be less than significant.

d) **Less than Significant Impact:** The proposed project would be constructed on an existing prepared and certified pad. All rough grading was completed in 2007. Only fine grading will be required prior construction to certify the proposed building pad. The proposed project is not known to be located on Table 18-1-B of the Uniform Building Code.

Therefore, the project is anticipated to have a less than significant impact.

e) **No Impact:** The project will be required to connect to the existing sewer system. Therefore, soil suitability for septic tanks or alternative wastewater disposal systems is not applicable in this case, and the proposed project would have no associated impacts.

	<p>f,h,g&i) <u>Less than Significant Impact:</u> The proposed project will be located on an existing prepared, certified pad. Only fine grading will need to be performed prior to construction. There are no unique geologic features on the subject property, less than 10,000 cubic yards of dirt will be required (3,500 cubic yards, balance on site), and no construction in areas with a 10% or greater cross slope will occur. Therefore, impacts will be less than significant.</p>
<p>VII. GREENHOUSE GAS EMISSIONS</p>	<p>a-b) <u>Less than Significant Impact:</u> “Greenhouse gases” (so called because of their role in trapping heat near the surface of the earth) emitted by human activity are implicated in global climate change. These greenhouse gases contribute to an increase in the temperature of the earth’s atmosphere. The principal greenhouse gases (GHGs) include carbon dioxide (CO₂), methane, and nitrous oxide. Collectively GHGs are measured as carbon dioxide equivalent (CO₂e).</p> <p>Fossil fuel consumption in the transportation sector (on-road motor vehicles, off-highway mobile sources, and aircraft) is the single largest source of GHG emissions, accounting for approximately half of GHG emissions globally. Industrial and commercial sources are the second largest contributors of GHG emissions with about one-fourth of total emissions.</p> <p>California has passed several bills and the Governor has signed at least three executive orders regarding greenhouse gases. GHG statues and executive orders (EO) include Assembly Bill (AB) 32, Senate Bill (SB) 1368, Executive Order (EO) S-03-05, EO S-20-06 and EO S-01-07.</p> <p>AB 32, the California Global Warming Solutions Act of 2006, is one of the most significant pieces of environmental legislation that California has adopted. Among other things, it is designed to maintain California’s reputation as a “national and international leader on energy conservation and environmental stewardship.” Most notably AB 32 mandates that by 2020, California’s GHG emissions be reduced to 1990 levels.</p> <p>In August, 2012 the City Council of the City of Santa Clarita passed the Santa Clarita Climate Action Plan (CAP). The CAP demonstrated that the City of Santa Clarita will be able to reduce local greenhouse gas emissions to a level consistent with AB 32. This will be accomplished by implementing the goals, objectives and policies of the General Plan and by continuing to implement existing programs. Therefore, the CAP is consistent with the General Plan.</p>

	<p>As a result, proposed projects that are consistent with the General Plan are also consistent with the CAP. The proposed project is contemplated by the General Plan in the Business Park zone via a Conditional Use Permit. Therefore, the proposed use is consistent with the General Plan via the Conditional Use Permit process. Since the proposed project is consistent with the General Plan and the General Plan is consistent with the CAP, the project is also consistent with the CAP.</p> <p>Therefore, the proposed project will result in less than significant impacts to greenhouse gas emissions.</p>
<p>VIII. HAZARDS AND HAZARDOUS MATERIALS</p>	<p>a) <u>Less than Significant Impact:</u> The proposed project includes the construction of an 81-unit residential health care facility in an urbanized area and between fully improved commercial uses within a business park. The proposed use is not anticipated to store, use, or generate substantial amounts of hazardous materials, and is not anticipated to utilize any acutely hazardous materials. The only hazardous materials expected to be utilized on-site are typical cleansers, solvents, pesticides, and fertilizers for the normal maintenance of residential structures and landscaping. These typical chemicals are not typically of sufficient amount or concentration to pose hazards to the public.</p> <p>Therefore, the proposed project will result in a less than significant hazard to the public or the environment through the routine transport, use or disposal of hazardous materials.</p> <p>b) <u>Less than Significant Impact:</u> The site is currently vacant. The site is not known or expected to contain any underground storage tanks (USTs), aboveground storage tanks (ASTs), gas lines, or other hazardous material conduits or storage facilities. Similarly, the project does not propose any industrial uses, waste treatment/storage facilities, power plants, or other land uses that are typically associated with hazardous material accidents. Therefore, the proposed project would not create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment, and the project would have less than significant related impacts. The property directly north of the project site, however, is owned by the gas company and does contain underground storage tanks.</p>

c) **Less than Significant Impact:** No schools exist nor are any school currently proposed for constructions within one-quarter mile of the Therefore, the proposed project would not handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school, and the project would have less than significant related impacts.

d) **No Impact:** The subject property is not included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5.

Therefore the project site would have less than significant related impacts.

e-f) **No Impact:** The project area is not located within an airport land use plan nor is it within two miles of a public airport or public use airport. The proposed project would not result in a safety hazard for people residing or working in the project area because the project area is not within the vicinity of a private airstrip.

g) **Less than Significant Impact:** The proposed project involves a development on an approximately 8 acre site. The construction and operation of the proposed project would not place any permanent or temporary physical barriers on any existing public streets. Therefore, the proposed project would have a less than significant impact to emergency response planning.

h) **Less than Significant Impact:** The site is surrounded by commercial development to the east, west and south. These developed areas act as buffers to wildfires. The proposed project is bounded to the north by Newhall Ranch Road, a major arterial highway measuring 138 feet in width which will also act as a buffer for wildfires. In addition, the proposed development of the site will reduce the wildfire fuel on-site, by eliminating the weeds and other annual grasses that cover a large portion of the site. Furthermore, the project's landscape plan is subject to review and approval by the City's Community Development Department and Los Angeles County Fuel Modification Unit. This review ensures the proposed landscape plan is appropriate for the conditions at the subject site. Therefore, the proposed project would not expose people or structures to a significant risk of loss, injury or death involving wild land fires, and the project would have less than significant associated impacts.

g) **Less than Significant Impact:** The subject property does not contain any electrical transmission lines, gas lines or oil pipelines.

	Therefore, there will be less than significant related impacts.
IX. HYDROLOGY AND WATER QUALITY	<p>a) <u>Less than Significant Impact:</u> Section 303 of the federal Clean Water Act requires states to develop water quality standards to protect the beneficial uses of receiving waters. In accordance with California's Porter/Cologne Act, the Regional Water Quality Control Boards (RWQCBs) of the State Water Resources Control Board (SWRCB) are required to develop water quality objectives that ensure their region meets the requirements of Section 303 of the Clean Water Act.</p> <p>Santa Clarita is within the jurisdiction of the Los Angeles RWQCB. The Los Angeles RWQCB adopted water quality objectives in its Stormwater Quality Management Plan (SQMP). This SQMP is designed to ensure stormwater achieves compliance with receiving water limitations. Thus, stormwater generated by a development that complies with the SQMP does not exceed the limitations of receiving waters, and thus does not exceed water quality standards.</p> <p>Compliance with the SQMP is ensured by Section 402 of the Clean Water Act, which is known as the National Pollution Discharge Elimination System (NPDES). Under this section, municipalities are required to obtain permits for the water pollution generated by stormwater in their jurisdiction. These permits are known as Municipal Separate Storm Sewer Systems (MS4) permits. Los Angeles County and 85 incorporated Cities therein, including the City of Santa Clarita, obtained an MS4 (Permit # 01-182) from the Los Angeles RWQCB, most recently in 2001. Under this MS4, each permitted municipality is required to implement the SQMP.</p> <p>In accordance with the County-wide MS4 permit, all new developments must comply with the SQMP. In addition, as required by the MS4 permit, the City of Santa Clarita has adopted a Standard Urban Stormwater Mitigation Plan (SUSMP) ordinance to ensure new developments comply with SQMP. The City's SUSMP ordinance requires new developments to implement Best Management Practices (BMPs) that reduce water quality impacts, including erosion and siltation, to the maximum extent practicable. This ordinance also requires new developments to submit a plan to the City that demonstrates how the project will comply with the City's SUSMP and identifies the project-specific BMP that will be implemented.</p> <p>The proposed project includes the construction of an 81-unit residential health care facility in an urbanized area and between fully</p>

improved commercial uses within a business park. None of the proposed uses are point source generators of water pollutants, and thus, no quantifiable water quality standards apply to the project. As an urban development, the proposed project would add typical, urban, nonpoint-source pollutants to storm water runoff. As discussed, these pollutants are permitted by the County-wide MS4 permit, and would not exceed any receiving water limitations.

Therefore, impacts to local water quality standards will be less than significant.

b) Less than Significant Impact: The Santa Clara River and its tributaries are the primary groundwater recharge areas for the Santa Clarita Valley (City of Santa Clarita General Plan, 1991).

The proposed project would add impermeable surfaces to a currently undeveloped site, which could reduce the site's groundwater recharge potential. However, the amount of impermeable surface the proposed project would install is negligible in comparison to the total size of the Santa Clara River recharge area. Further, compliance with the SUSMP ordinance requires opportunities for groundwater recharge prior to discharge into the stormdrain system. Therefore, the proposed project would not substantially deplete groundwater supplies or interfere substantially with groundwater recharge, and the project would have less than significant related significant impacts.

c) Less than Significant Impact: Development projects that increase the volume or velocity of surface water can result in an increase in erosion and siltation. Increased surface water volume and velocity causes an increase in siltation and sedimentation by increasing both soil/water interaction time and the sediment load potential of flowing water.

The proposed project would alter the sites drainage by installing impermeable surfaces. However, the proposed development includes an engineered drainage system to manage stormwater flows through an USUMP. This drainage system will handle both the runoff that currently flows to the site from surrounding development and the increased runoff from the proposed impermeable surfaces on-site.

As required by the City of Santa Clarita and the Countywide MS4 Permit, the final design of the development's drainage system will be engineered so that post-development peak runoff discharge rates (a measure of the volume and velocity of water flows) are equal to or less than pre-development peak runoff rates. Consequently, the

project would not substantially increase erosion or siltation off-site.

Furthermore, the project does not propose channelizing any drainage courses or focusing surface water flows into any areas of exposed soil. In addition, the on-site drainage system, in accordance with the NPDES requirements discussed above in Section VIII(a), is also required to include BMPs to reduce erosion and siltation to the maximum extent practicable.

Therefore, with the application of standard engineering practices, NPDES requirements, and City standards, the project would not result in substantial erosion or siltation on- or off-site, and the project would have less than significant related impacts.

d) Less than Significant Impact: As required by the City of Santa Clarita and the Countywide MS4 Permit, the final design of the development's drainage system will be engineered so that post-development peak runoff discharge rates are equal to or less than pre-development peak runoff rates. By adhering to these standards, the project would not result in flooding on or off-site, and the project would have less than significant related significant impacts.

e) Less than Significant Impact: The proposed project could increase runoff by increasing the impermeable surfaces on-site. However, compliance with the City's SUSMP ordinance would ensure that post-development peak storm water runoff rates do not exceed pre-development peak storm water runoff rates. Therefore, the off-site drainage network that supports the parcel and surrounding watershed will be adequate to handle the project's post-development runoff.

Similarly, the project would generate only typical, non-point source, urban stormwater pollutants. These pollutants are covered by the County-wide MS4 permit, and the project, through the City's SUSMP ordinance, is required to implement BMPs to reduce stormwater pollutants to the maximum extent practicable. Therefore, the proposed project would not create runoff that would exceed the capacity of the stormwater drainage system and would not provide a substantial additional source of polluted runoff.

f) Less than Significant Impact: As discussed above, the proposed development will not be a point-source generator of water pollutants. The only long-term water pollutants expected to be generated on-site are typical urban stormwater pollutants. Compliance with the City's SUSMP ordinance will ensure these

stormwater pollutants would not substantially degrade water quality.

The project, however, also has the potential to generate short-term water pollutants during construction, including sediment, trash, construction materials, and equipment fluids. The Countywide MS4 permit requires construction sites to implement BMPs to reduce the potential for construction-induced water pollutant impacts. These BMPs include methods to prevent contaminated construction site stormwater from entering the drainage system and preventing construction-induced contaminants from entering the drainage system. The MS4 identifies the following minimum requirements for construction sites in Los Angeles County:

1. Sediments generated on the project site shall be retained using adequate Treatment Control or Structural BMPs;
2. Construction-related materials, wastes, spills or residues shall be retained at the project site to avoid discharge to streets, drainage facilities, receiving waters, or adjacent properties by wind or runoff;
3. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site; and
4. Erosion from slopes and channels shall be controlled by implementing an effective combination of BMPs (as approved in Regional Board Resolution No. 99-03), such as the limiting of grading scheduled during the wet season; inspecting graded areas during rain events; planting and maintenance of vegetation on slopes; and covering erosion susceptible slopes.

In addition, projects with a construction site of one acre or greater, such as the proposed project, are subject to additional stormwater pollution requirements during construction. The State Water Resources Control Board (SWRCB) maintains a statewide NPDES permit for all construction activities within California that result in one (1) or more acres of land disturbance. This permit is known as the State's General Construction Activity Storm Water Permit or the State's General NPDES Permit. Since the proposed project involves greater than one (1) acre of land disturbance, the project is required to submit to the SWRCB a Notice of Intent (NOI) to comply with the State's General Construction Activity Storm Water Permit. This NOI must include a Storm Water Pollution Prevention Plan (SWPPP) that outlines the BMPs that will be incorporated during construction. These BMPs will minimize construction-induced water pollutants by controlling erosion and sediment, establishing waste

handling/disposal requirements, and providing non-storm water management procedures.

Complying with both the MS4's construction site requirements and the State's General Construction Permit, as well as implementing an SWPPP will ensure that construction of the proposed project would have less than significant impact to water quality.

g) No Impact: The project does not involve construction within the identified flood hazard area. Therefore, the proposed project would not place housing in a flood hazard area and would have no related impacts.

h) No Impact: The project site is not within the 100-year or 500-year flood zones as shown on the City's "Flood Zones" map. Therefore, the proposed project would not place structures in a flood hazard area and would have no related impacts.

i) No Impact: There are no levees, dams, or other water detention facilities in the vicinity of the project site. Therefore, the proposed project would not expose people or structures to a risk of loss, injury, or death involving flooding as a result of the failure of a levee or dam, and the project would have no related impacts.

j) Less than Significant Impact: There are no bodies of water in the vicinity of the project site that are capable of producing seiche or tsunami. No ancient or recent bedrock landslides were observed on the proposed development area and no surficial slope failures or slumps were observed within the proposed project area. A slope stability analysis contained within the report concludes that based upon observation, laboratory testing and analysis, the soil should possess sufficient strength to support the proposed project provided that recommendations within the report are followed and maintained. Therefore, the proposed project would have a less than significant impact from seiche, tsunami, or mudflow.

k) Less than Significant Impact: The project would alter the site's drainage patterns. However, compliance with the City's SUSMP ordinance would ensure that post-development peak storm water runoff rates to not exceed pre-development peak storm water runoff rates. Furthermore, the project does not involve grading or excavation into the groundwater table, and would not place any subterranean structures or foundation that would encroach into groundwater aquifer. Consequently, groundwater flows would not be changed. Therefore, the proposed project would not result in

	<p>significant impacts from changes in the rate of flow, currents, or the course and direction of surface water and groundwater.</p> <p>l) i-vii) <u>Less than Significant Impact:</u> The project is required to comply with the City's SUSMP ordinance, the Countywide MS4 permit, the State' NPDES General Construction Permit, and required to implement a SUSMP compliance plan and SWPPP. As previously discussed, compliance with these requirements of the Clean Water Act and the NPDES will ensure the proposed project would have less than significant impact stormwater management.</p>
<p>X. LAND USE AND PLANNING</p>	<p>a) <u>No Impact:</u> The proposed project includes the construction of an 81-unit residential health care facility in an urbanized area and between fully improved commercial uses within a business park. The project site is currently vacant and its development will not serve to divide any existing community and there are no other residential communities within the area surrounding the project. The proposed project will, therefore, not disrupt or divide an established community.</p> <p>b) <u>Less than Significant Impact:</u> The proposed project is a residential use in a Business Park zone. This type of use is contemplated by the General Plan and the Unified Development Code via the Conditional Use Permit process. The proposed project will comply with all applicable City plans and policies adopted for the purpose of avoiding or mitigating environmental impacts.</p> <p>Therefore, the proposed project will not conflict with any plans or policies adopted for the purpose of avoiding or mitigating environmental impact.</p> <p>c) <u>Less than Significant Impact:</u> The proposed project will not conflict with any local conservation plan or policy. No known candidate, sensitive, or special status species occupy the subject property nor will any oak trees be impacted as a result of the proposed project.</p> <p>Therefore, any conflict with existing conservation plan or policy will be less than significant.</p>
<p>XI. MINERAL AND ENERGY RESOURCES</p>	<p>a-c) <u>No Impact:</u> Gold mining and oil production historically have been the principal mineral extraction activities in and around the Santa Clarita Valley. Other minerals found in the planning area include construction aggregate, titanium, and tuff. The proposed</p>

	<p>project includes the construction of an 81-unit residential health care facility in an urbanized area and between fully improved commercial uses within a business park. No known oil or gold reserves are present on the subject property.</p> <p>The proposed project would not result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan and would not use nonrenewable resources in a wasteful and inefficient manner.</p> <p>Therefore, no impact related to mineral and energy resources is anticipated with this project.</p>
XII. NOISE	<p>a) <u>Less than Significant Impact:</u> Noise impacts are considered significant if they expose persons to levels in excess of standards established in local general plans or noise ordinances. The exterior noise standard for the City of Santa Clarita for commercial uses is 80 dBA at the property line. Short term noise will be generated by activities associated with grading and construction. Longer term noise will be generated by operation of the proposed project.</p> <p>The proposed project is located within an existing business park on an 8 acre site. The portion of the site proposed for development lies up-slope from all surrounding commercial/light industrial uses and is vertically offset by approximately 80 feet. In addition, the portion of the property proposed for development is approximately 160 feet to the nearest commercial property line and 215 feet from the nearest commercial structure. No populations identified as "sensitive receptors" are adjacent to the subject property. All grading, construction and operational noise must comply with the City of Santa Clarita's Noise Ordinance.</p> <p>The proposed project will meet the current California Building Code residential standards for sound attenuation.</p> <p><i>Impacts from Construction</i></p> <p>Temporary construction noise impacts will vary markedly because the noise strength of construction equipment ranges widely as a function of the equipment used and its activity level. Short-term construction noise impacts tend to occur in discrete phases dominated initially by demolition of existing structures and large earth-moving sources, then by foundation and parking lot construction, and finally for finish construction. However, because the proposed project would be constructed on a prepared, certified pad, noise from grading activities would be minimized. Noise will also be generated during the construction process. However, all construction activities would</p>

be limited to the hours defined by the City of Santa Clarita Noise ordinance and would be prohibited on Sundays and holidays. However, because there are no sensitive receptors near the subject property, noise impacts from grading and construction will be less than significant.

Impacts from Operation of the Proposed Project

Noise generated by the site will be primarily from the operation of vehicles coming to and from the facility and from existing traffic on Newhall Ranch Road. No commercial or industrial activities will occur on-site. Given that the proposed project is a residential use is within an existing business park, the new noise generation will be less than the noise generation of new commercial or industrial use. In addition, ITE Land Use-255 estimates the proposed project would general one-tenth of the vehicle trips than a commercial development on the same property.

Therefore, exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies are insignificant.

b) **Less than Significant Impact:** There are no established vibration standards in the City of Santa Clarita. Furthermore, the proposed residential use at the specified location would neither generate, nor expose people to excessive ground-borne vibrations or ground-borne noise levels.

The proposed project does not involve construction practices that are typically associated with vibrations, such as pile driving and large-scale demolition. Therefore, the proposed project would cause less than significant vibration impacts.

c) **Less than Significant Impact:** The proposed project includes the construction of an 81-unit residential health care facility in an urbanized area and between fully improved commercial uses within a business park. It is surrounded by development on the west, east and south and by a natural gas storage facility to the north. The subject property could support a commercial office use of 60,000 square feet. The ITE Land Use estimates that the proposed use would generate approximately one-tenth the daily trips as the highest use of the property. As discussed in "a", above, the primary noise generated by the proposed project would be from vehicles. Vehicle trips associated with the proposed project are approximately one-tenth of those generated by the highest use of the property and will, thus, create far

	<p>less noise. No commercial or industrial activities would occur on site.</p> <p>Therefore, there will be less than significant impacts to the permanent increase in ambient noise.</p> <p>d) <u>Less than Significant Impacts:</u> As discussed in section “a” above, the project will result in temporary construction noise from construction and grading activities. However, because the project would be constructed on an existing prepared, certified pad, noise generated by grading activities will be minimized.</p> <p>Therefore, the proposed project would result in less than significant temporary or periodic increases in ambient noise levels.</p> <p>e) <u>No Impact:</u> The proposed project is not located within an airport land use plan or within two miles of a public airport.</p> <p>f) <u>No Impact:</u> The proposed project is not located within the vicinity of a private airstrip.</p>
XIII. POPULATION AND HOUSING	<p>a) <u>Less than Significant Impact:</u> The proposed project includes for the construction of 81-unit residential healthcare facility and various on-site amenities. The estimated number of inhabitants for the proposed project is 100 persons. However, because it cannot be assumed that all of the inhabitants of the proposed project would come from outside of the City Santa Clarita, the actual number of new residents of the City as a result of the proposed project is unknown.</p> <p>With a population of approximately 209,000, the City of Santa Clarita is currently the third largest city in Los Angeles County by population. Assuming all inhabitants of the proposed project were new residents of the City, the City’s population would increase by .0005% as a result of the proposed project. Further, the proposed use would provide additional services for seniors in the community, providing alternatives to other existing facilities within the City.</p> <p>Therefore, the proposed project will result in less than significant impacts to population growth.</p> <p>b-c) <u>No Impact:</u> The proposed project will neither displace people or existing housing. The proposed project will provide an opportunity to house individuals who are potentially unable to care for themselves or require a greater level of supervised care than their family can provide.</p>

	<p>Therefore, the proposed project would have no impact on displacing people from existing housing.</p>
<p>XIV. PUBLIC SERVICES</p>	<p>a. i-iv) <u>No Impact:</u> The proposed project would not create any significant adverse impacts to public services, nor would it necessitate the construction of new facilities for fire, police, school services or parks. Although the proposed use could result in an increase in the number of local trips for medical purposes, because a portion of population at the proposed use would be derived from the current City population, these would not be new trips. Further, because the proposed project only contains 81 units, the number of actual new trips would be low and well within the current capacity of existing emergency services.</p> <p>Therefore, the proposed project is not anticipated to result in an impact related to public services.</p>
<p>XV. RECREATION</p>	<p>a-b) <u>Less than Significant Impact:</u> The proposed project includes the construction of an 81-unit residential healthcare facility and various on-site amenities. No significant incremental increase in the use of public parks is expected as a result of the proposed project. Payment of parks impact fees by the applicant will offset any impacts.</p> <p>Furthermore, on-site recreational facilities will be provided to occupants of the facility.</p> <p>Therefore, the proposed project will have less than significant impacts on recreational opportunities.</p>
<p>XVI. TRANSPORTATION / TRAFFIC</p>	<p>a-b) <u>Less than Significant Impact:</u> The proposed project includes the construction of an 81-unit residential healthcare facility and various on-site amenities. The subject property could support 60,000 square feet of office space. ITE Land Use-255 indicate a total of 2,200 daily trips generated by an office/medical office use. Using ITE Land Use 255 for Continuing Care/Retirement Community, the proposed use would only generate 230 daily trips, just over 10% of the potential trips generated by more intensive uses that are permissible on site.</p> <p>The proposed project fronts onto Newhall Ranch Road. Trips generated by the proposed use would, thus, impact Newhall Ranch Road directly. In 2012, there were 37,100 average daily trips on the</p>

	<p>portion of Newhall Ranch Road in the segment adjacent to the proposed project. The increase of 230 daily trips as a result of the proposed project would increase the total number of average daily trips on Newhall Ranch Road by .007%.</p> <p>Therefore, the proposed project would have less than significant impacts on traffic loads and capacity of the existing street system.</p> <p>c-h) <u>Less than Significant Impact:</u> The proposed project includes the construction of an 81-unit residential healthcare facility and various on-site amenities. The proposed project will not impact change air traffic patterns, including any design feature (sharp curves, dangerous intersections or incompatible uses) that will result in inadequate emergency access or parking capacity. The proposed project will also not conflict with any policy plan or program supporting alternative transportation or present hazards or barriers for pedestrians or bicyclists.</p>
<p>XVII. UTILITIES AND SERVICE SYSTEMS</p>	<p>a) <u>Less than Significant Impact:</u> The proposed project includes the construction of an 81-unit residential healthcare facility and various on-site amenities. None of the proposed uses would generate atypical wastewater such as industrial or agricultural effluent. All wastewater generated by the proposed project is expected to be domestic sewage. Wastewater treatment facilities are designed to treat domestic sewage; and thus, typical domestic sewage does not exceed wastewater treatment requirements. Since the project would not generate atypical wastewater, the project would not exceed wastewater treatment requirements, and the project would have less than significant impacts.</p> <p>b) <u>Less than Significant Impact:</u> The proposed development would increase the demand for water and wastewater service. However, the increase to water/wastewater service demand is minimal in comparison to the existing service areas of the water and wastewater service purveyors. In addition, the facilities currently maintained by the service purveyors are adequate to serve the proposed increase in demand. The water and wastewater improvements required for the project are on-site pipelines and unit connections to the infrastructure systems, which are subject to connection fees. Therefore, the proposed project would not require or result in the construction or expansion of new water or wastewater treatment facilities off-site, and the project would have less than significant associated impacts.</p>

c) **Less than Significant Impact:** As required by the City of Santa Clarita and the Countywide MS4 Permit, the final design of the development's drainage system will be engineered so that post-development peak runoff discharge rates are equal to or less than pre-development peak runoff rates. Due to the drainage features included in the proposed site plan, and the detention capabilities of the proposed pond feature, standard engineering practices are expected to achieve this requirement. Therefore, the proposed project would not require or result in the construction of new off-site stormwater drainage facilities or the expansion of existing facilities off-site, and the project would have less than significant related significant impacts.

d) **Less than Significant Impact:** The Santa Clarita Water District (District) provides water services to the project site. The District's water sources are local groundwater and the State Water Project. These existing water supplies are sufficient to serve the proposed development. Therefore, the proposed project would not require new or expanded water entitlements, and the project would have less than significant related significant impacts.

e) **Less than Significant Impact:** The County Sanitation District of Los Angeles County (Sanitation District) provides wastewater services to the project site. The Sanitation District's existing facilities are sufficient to accommodate the proposed development. Therefore, the proposed project would result in a determination by the wastewater treatment provider that it has adequate capacity to serve the proposed development, and the project would have less than significant related significant impacts.

f) **Less than Significant Impact:** The project would be served by a landfill (Chiquita Canyon) with sufficient permitted capacity to accommodate the project's solid waste disposal needs. Chiquita Canyon Landfill is not expected to reach capacity for more than a decade.

g) **Less than Significant Impact:** The California Integrated Waste Management Act requires that jurisdictions maintain a 50% or better diversion rate for solid waste. The City implements this requirement through the City's franchised Solid Waste Management Services. Per the agreements between the City and the franchised trash disposal companies, each franchisee is responsible for meeting the minimum recycling diversion rate of 50% on a quarterly basis. Franchisee's are further encouraged to meet the City's overall

	<p>diversion rate goal of 75%. The proposed project is required to comply with the applicable solid waste franchise's recycling system, and thus, will meet the City's and California's solid waste diversion regulations. In addition, the City of Santa Clarita has initiated a construction waste diversion program to encourage the diversion of construction debris to recycling programs. Based on the valuation of the proposed project, the applicant will be participating in this program and will be diverting construction debris to recycling programs in accordance with the City's Environmental Services Division. Therefore, the project would result in less than significant impacts from conflicting with statutes or regulations related to solid waste.</p>
<p>XVIII. MANDATORY FINDINGS OF SIGNIFICANCE</p>	<p>a) <u>Less than Significant:</u> The proposed project would be constructed on an existing certified pad. No native vegetation exists on the site due to prior grading activities. No previously identified candidate, sensitive, or special status species are known to occur nor have any been identified on the subject property. The project site is located approximately 2,500 feet from the nearest riparian habitat, the Santa Clara River. The project site is not located in a Significant Ecological Area (SEA) nor is any habitat located on site. The project site does not contain any sensitive natural communities identified in local or regional plans, policies or regulations or by the California Department of Fish and Game or US Fish and Wildlife Service. The proposed project does not conflict with any conservation plans and no oak trees are located on the subject property or in the vicinity of the subject property.</p> <p>Therefore the proposed project will have less than significant impacts on the degradation of quality of the environment.</p> <p>b) <u>Less than Significant Impact:</u> The proposed project is a residential use within a business park on an existing, certified pad. The proposed facility will provide on-site assisted living services including supervised medical care and specific care for Alzheimer's disease patients. As such, the proposed use is a stand-alone project and represents no incremental increases based on impacts from other projects. The proposed project will meet all of the City of Santa Clarita's development standards as defined by the Unified Development Code as well as all requirements defined by the California Building Code.</p> <p>Therefore, cumulatively considerable impacts will be less than significant.</p> <p>c) <u>Less than Significant Impact:</u> The proposed project is a</p>

	<p>residential use within a business park on an existing, certified pad. The proposed facility will provide on-site assisted living services including supervised medical care and specific care for Alzheimer's disease patients. The proposed project will meet all of the City of Santa Clarita's development standards as defined by the Unified Development Code as well as all requirements defined by the California Building Code. The project will not divide any existing communities, result in excessive noise, significantly impact existing public services or utilities, store or use hazardous materials, significantly impact traffic, and not result in significant impacts to air quality or greenhouse gas emissions.</p> <p>Therefore, the proposed project would have less than significant impacts on human beings, either directly or indirectly.</p>
<p>XIX. DEPARTMENT OF FISH AND GAME 'DE MINIMUS' FINDING</p>	<p>d) <u>Less than Significant Impact:</u> The proposed project would be constructed on an existing certified pad. No native vegetation exists on the site due to prior grading activities. No previously identified candidate, sensitive, or special status species are known to occur nor have any been identified on the subject property. The project site is located approximately 2,500 feet from the nearest riparian habitat, the Santa Clara River. The project site is not located in a Significant Ecological Area (SEA) nor is any habitat located on site. The project site does not contain any sensitive natural communities identified in local or regional plans, policies or regulations or by the California Department of Fish and Game or US Fish and Wildlife Service. The proposed project does not conflict with any conservation plans and no oak trees are located on the subject property or in the vicinity of the subject property.</p> <p>Therefore the proposed project will have less than significant impacts on fish and wildlife resources.</p>

CITY OF SANTA CLARITA
STAFF REPORT
MASTER CASE NO. 13-188 AND 13-198
CONDITIONAL USE PERMIT 13-015 AND 13-017

DATE: July 1, 2014

TO: Chairperson Heffernan and Members of the Planning Commission

FROM: Jeff Hogan, AICP, Planning Manager

CASE PLANNER: James Chow, Associate Planner

APPLICANTS: AT&T and Verizon Wireless

LOCATION: 24015 and 24025 Newhall Ranch Road (APN: 2811-084-001)

REQUEST: The applicants are proposing to install and operate two, co-located wireless communications facilities on the roof of the westernmost building within the Bridgeport Marketplace shopping center. Ground-mounted equipment is also proposed with the Verizon Wireless proposal, between the subject building and Newhall Ranch Road. The subject property is located in the Community Commercial (CC) zone.

BACKGROUND

Commercial Center Approval and Construction

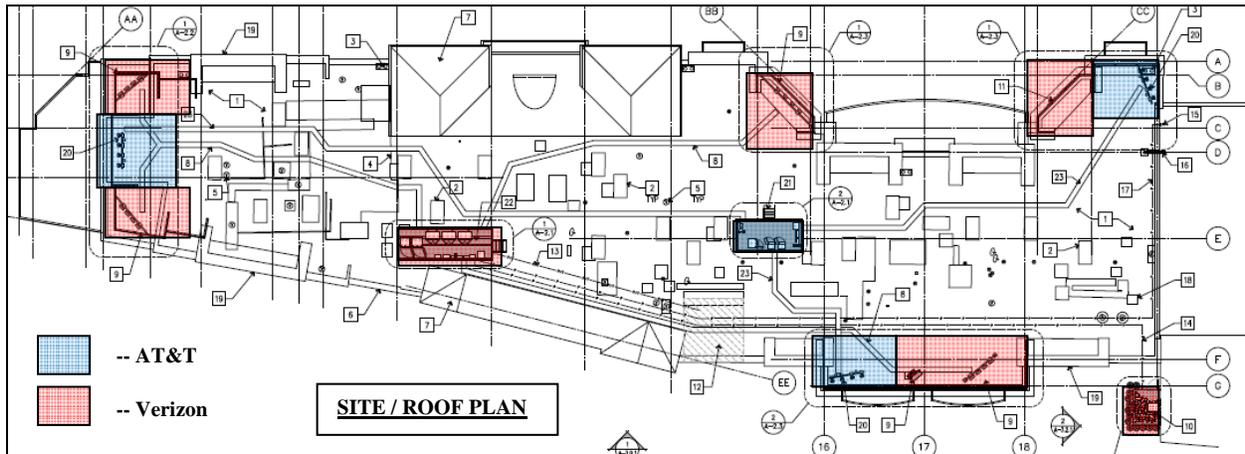
The subject wireless communications facilities are proposed to be located within the Bridgeport Marketplace commercial center, which was originally approved by the Planning Commission in December 2005 and built in 2008. The subject commercial center is generally located at the northeast corner of McBean Parkway and Newhall Ranch Road and consists of four buildings, totaling 130,000 square feet of floor area, with a building height varying from 29 feet to 35 feet.

Project Applications and Development Review

In November and December 2013, the applicants, AT&T and Verizon Wireless, submitted separate applications for a conditional use permit (CUP) to install and operate the subject wireless communications facilities on the project site. The proposed facilities have been proposed for the subject site in order to provide increased cellular coverage in the surrounding area. Cellular coverage maps depicting gaps in coverage in the surrounding area were provided by the applicants and are attached herein. The applications were deemed complete on January 30, 2014. On January 30, 2014, staff conducted a Development Review Committee (DRC) meeting with both applicants and issued preliminary design comments on the site and elevation plans. The applicants subsequently revised the applicable plans and in May 2014, re-submitted revised plans for conditional approval.

PROJECT DESCRIPTION

The applicants for the projects are proposing to co-locate and architecturally integrate their respective facilities into the subject commercial building. An exhibit and description of the proposals are provided below.



AT&T Proposal at 24025 Newhall Ranch Road (Master Case No. 13-188)

AT&T is proposing a wireless communications facility that would be mounted on the roof of the westernmost building at Bridgeport Marketplace. AT&T's proposal consists of a 200 square-foot equipment area (with two GPS antennas and equipment cabinets), three sectors of antennas (with four six-foot high antennas and eight remote radio units per sector), and parapet wall extensions to screen the equipment and antennas from public view. The parapet wall extensions, ranging between six and ten feet high, would increase the overall building height to between 35 feet and 39 feet in height.

Verizon Wireless Proposal at 24015 Newhall Ranch Road (Master Case No. 13-198)

Verizon Wireless is proposing a wireless communications facility that would be mounted on the roof of the westernmost building at Bridgeport Marketplace. Verizon's proposal consists of a 293 square-foot equipment area (with equipment cabinets), four sectors of antennas (with four seven-foot high antennas per sector), one four-foot diameter microwave dish, and parapet wall extensions to screen the equipment and antennas from public view. The parapet wall extensions, ranging between six and ten feet high, would increase the overall building height to between 35 feet and 39 feet in height. Verizon is also proposing a ground-mounted emergency generator within an 85 square-foot, eight-foot high enclosure along with peripheral landscaping, within a landscape planter area located between the subject building and Newhall Ranch Road.

GENERAL PLAN DESIGNATION AND ZONING

The General Plan and zoning designation for the subject property is Community Commercial (CC). The Community Commercial land use and zoning designation is intended for businesses

providing retail and service uses that primarily serve the local market. Other uses, such as the subject wireless communications facilities may be permitted, subject to a CUP.

The Unified Development Code (UDC) requires the approval of a CUP for any wireless communications facility that is in excess of 35 feet in height in the CC zone, in order to allow neighboring property owners the opportunity to comment on the proposal and the issuance of conditions of approval, and to ensure that such uses will not adversely impact nearby properties and residents. The following table and attached General Plan/zoning map summarize the General Plan designations, zoning, and land uses surrounding the subject property:

Subject Property: 24015 and 24025 Newhall Ranch Road (APN: 2811-084-001)

	General Plan	Zoning	Land Use
Project Site:	Community Commercial (CC)	Community Commercial (CC)	Commercial Shopping Center
North:	Urban Residential 1 (UR1)	Urban Residential 1 (UR1)	Single-Family Residential
East:	Urban Residential 3 (UR3)	Urban Residential 3 (UR3)	Multi-Family Residential
South:	Specific Plan (SP)	Specific Plan (SP)	Single-Family Residential
West:	Specific Plan (SP)	Specific Plan (SP)	Heritage Park



ANALYSIS

Aesthetics and Development Guidelines

The City's Wireless Communications Facilities Ordinance recommends that new wireless communications facilities be placed on existing structures such as the subject commercial building, that a stealth or concealed design be used, and that the new wireless facilities utilize co-location with other facilities whenever possible. The proposed projects call for two facilities to be co-located on the roof of an existing commercial building with all accessory equipment to be screened from public view, behind proposed architectural screening.

Both projects were reviewed by staff and the City's architectural design consultant, RRM Design Group, to ensure consistency with the UDC and with the City's architectural design guidelines. The antennas and equipment proposed with each project would be located behind parapet wall

extensions that are designed with the same architectural detail, colors, and textures as the subject building and architecturally integrated into the commercial building. Verizon's proposed ground-mounted enclosure would be constructed with a decorative block material with landscaping provided on all sides. By co-locating the proposed wireless communications facilities on a commercial building, fully concealing the antennas and equipment, and architecturally integrating the facilities into the building, the proposed projects fully comply with the Wireless Communications Facilities Ordinance. Provided below (and attached herein) are visual simulations, submitted by the applicant, depicting the existing and post-construction conditions.



Noise

Noise studies (attached herein) were prepared by each of the applicants for their respective proposals. The applicants conducted daytime and nighttime noise studies at the nearest residential property from each of the proposed facilities. The exhibit below reflects the location of the sound readings taken:



The table below reflects noise results taken at the nearest residential property from each of the proposed facilities and the projected post-construction sound level results for each facility. Each of the studies concludes that there would be no increase to ambient noise resulting from either project.

	Existing Condition (dBA)		Post Proposed Construction (dBA)	
	Daytime	Nighttime	Daytime (+/-)	Nighttime (+/-)
AT&T Proposal	65.7	62.2	65.7 (+0.0)	62.2 (+0.0)
Verizon Proposal	66.5	61.5	66.5 (+0.0)	61.5 (+0.0)

Federal Communications Commission Regulations

The Federal Telecommunications Act of 1996 (TCA) requires the Federal Communications Commission (FCC) to prescribe and make effective regulations governing the environmental effects of radio frequency (RF) emissions for wireless communications facilities. Local jurisdictions are preempted by the FCC under the TCA from making decisions based on environmental and health effects related to radio frequency emissions from wireless communications facilities. The proposed projects would operate in compliance with these regulations. Therefore, no potential hazard to the public’s health or safety would result from radio frequency emissions relative to the proposed wireless communications facilities.

ENVIRONMENTAL STATUS

The proposed wireless communications facilities are exempt from the California Environmental Quality Act (CEQA) under Article 19, Categorical Exemptions, Section 15301, Class 1. A Class 1 categorical exemption includes the operation, leasing, or minor alterations of existing public or

private structures or facilities. The proposals includes the co-location of two new wireless communications facilities on the roof of an existing commercial building and construction of an 85 square-foot ground-mounted enclosure adjacent to the building, which qualifies each project as a Class 1 categorical exemption.

PUBLIC NOTICE AND COMMENTS

On June 10, 2014, a notice of public hearing for each proposal was sent to all property owners within a 1,000-foot radius of the project site and to all tenants within the subject center, in accordance with Section 17.06.110(B) of the UDC. A legal notice advertising the public hearing was placed in The Signal, and a sign for each proposal was posted on the project site. To date, the Community Development Department has not received any comments related to the proposed projects.

CONCLUSION

The proposed wireless communications facilities are compatible with the kinds of uses envisioned in the CC land use designation and zone as outlined in the General Plan and the UDC. In addition, the aesthetics, noise impacts and proposed location of the facilities are consistent with the requirements of the City's Wireless Communications Facilities Ordinance. Therefore, staff has drafted the necessary findings for approval of a CUP as set forth in Section 17.25.100 of the UDC.

RECOMMENDATION

Staff recommends that the Planning Commission:

- 1) Adopt Resolution P14-10, approving Master Case No. 13-188, Conditional Use Permit 13-015, approving the proposed AT&T wireless communications facility located at 24025 Newhall Ranch Road (APN: 2811-084-001), subject to the attached conditions of approval (Exhibit A of Resolution P14-10); and
- 2) Adopt Resolution P14-11, approving Master Case No. 13-198, Conditional Use Permit 13-017, approving the proposed Verizon Wireless wireless communications facility located at 24015 Newhall Ranch Road (APN: 2811-084-001), subject to the attached conditions of approval (Exhibit A of Resolution P14-11).

ATTACHMENTS

Resolution P14-10
Conditions of Approval (Exhibit A of Resolution P14-10)
Resolution P14-11
Conditions of Approval (Exhibit A of Resolution P14-11)
Public Notices
Notices of Exemption
Aerial Map

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Zoning / General Plan Map
Site Plan and Elevation Plan
Visual Simulations
Colors and Materials Board
Noise Studies
AT&T and Verizon Wireless Coverage Maps

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RESOLUTION NO. P14-10

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARITA APPROVING MASTER CASE NO. 13-188, CONDITIONAL USE PERMIT 13-015, TO ALLOW FOR THE INSTALLATION AND OPERATION OF A WIRELESS COMMUNICATIONS FACILITY LOCATED AT 24025 NEWHALL RANCH ROAD, IN THE CITY OF SANTA CLARITA

THE PLANNING COMMISSION OF THE CITY OF SANTA CLARITA DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. FINDINGS OF FACT. The Planning Commission does hereby make the following findings of fact:

- A. An application for Master Case No. 13-188 (Conditional Use Permit 13-015) was filed by AT&T (hereinafter “Applicant”) with the City of Santa Clarita on November 25, 2013. The property for which this application was filed is located at 24025 Newhall Ranch Road (APN: 2811-084-001) (hereinafter “Subject Site”);
- B. The application was deemed complete on January 30, 2014;
- C. The applicant proposes to install and operate a wireless communications facility on the roof of an existing commercial building on the subject site. The proposed facility includes a 200 square-foot equipment area, three sectors of antennas (with four antennas per sector) and parapet wall extensions;
- D. The zoning and General Plan designation for the subject site is CC (Community Commercial);
- E. The surrounding land uses include single-family residences to the north and to the south, multi-family residences to the east, and Heritage Park to the west of the subject site;
- F. On June 10, 2014, a public hearing was duly noticed for a Planning Commission meeting. A public hearing was held before the Planning Commission on July 1, 2014, at 6:00 p.m. at City Hall, Council Chambers, 23920 Valencia Boulevard, Santa Clarita; and
- G. At this public hearing, the Planning Commission considered the staff report, staff presentation, applicant’s presentation, and public testimony.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDINGS. Based upon the foregoing facts and findings, the Planning Commission hereby find as follows:

- A. A Notice of Exemption for this project was prepared in compliance with the California Environmental Quality Act (CEQA);
- B. This project is exempt per Article 19: Categorical Exemptions, Section 15301 of the

California Environmental Quality Act (CEQA), as a Class 1 categorical exemption. A Class 1 exemption consists of operation, leasing, or minor alterations of existing public or private structures or facilities. The proposal includes the installation and operation of a new wireless communications facilities on the roof of an existing commercial building;

- C. The documents and other materials that constitute the record of proceedings upon which the decision of the Planning Commission is based is the Master Case No. 13-188 project file and that this project file is located within the Community Development Department and is in the custody of the Director of Community Development; and
- D. Based upon the findings set forth above, the Planning Commission hereby finds the Notice of Exemption for this project has been prepared in compliance with CEQA.

SECTION 3. GENERAL FINDINGS FOR MASTER CASE NO. 13-188. Based on the foregoing facts and findings for Master Case No. 13-188, the Planning Commission hereby determines as follows:

- A. That the proposal is consistent with the General Plan;

The proposed location, size, design and operating characteristics of the proposed use are in accordance with the purpose of the City's General Plan and the development policies and standards of the City. Specifically, the Land Use Element of General Plan policy LU 4.4.4 dictates that the City work to protect and enhance public utility facilities as necessary to maintain the safety, reliability, integrity, and security of essential public service systems for all residents. As proposed, the project would improve the City's cellular coverage and service. The proposed project is also consistent with Policy N 1.1.4 of the Noise Element of the General Plan by controlling noise sources adjacent to residential development by creating no new net increases in ambient noise levels.

- B. The proposal is allowed within the applicable underlying zone and complies with all other applicable provisions of the UDC;

With the approval of a conditional use permit, the proposed project complies with the Unified Development Code, including the specific development standards outlined in the Wireless Communications Facilities Ordinance (Chapter 17.69), as set forth in Section 4, below.

- C. The proposal will not endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare, or be materially detrimental or injurious to the improvements, persons, property, or uses in the vicinity and zone in which the property is located; and

All proposed roof-mounted equipment and antennas will be located behind architectural parapet wall extensions and will be completely screened from public view. The proposed roof-mounted facility is required to comply with all building code regulations to ensure

the safe and secure installation of the associated roof-mounted equipment and additions. The proposed wireless communications facility is required to comply with the Federal Communications Commission regulations to ensure that there is no potential hazard to the public's health or safety. Therefore, the wireless communications facility would not be detrimental to the public's health, safety, or welfare, nor would it be materially injurious to properties or improvements in the vicinity.

D. The proposal is physically suitable for the site. The factors related to the proposal's physical suitability for the site shall include, but are not limited to, the following:

1) The design, location, shape, size, and operating characteristics are suitable for the proposed use;

The design, location, shape, size, and operating characteristics of the proposal would be physically suitable for the subject site. A 200 square-foot equipment area and three sectors of antennas would be located on the roof of the subject building. The proposed facility would include architectural parapet extensions designed to be an integral part of the building, with detailing, colors, and materials to match the subject building. The overall building height would increase to between 35 feet and 39 feet. The increase and variation in height would be consistent with the height and massing of the other commercial structures within the commercial center.

2) The highways or streets that provide access to the site are of sufficient width and are improved as necessary to carry the kind and quantity of traffic such proposal would generate;

The proposed wireless communications facility would be unmanned and thus would not generate traffic or impact the physical character or capacity of surrounding streets. The wireless communications facility would not change the nature or use of the subject commercial center, nor would it affect any of the current or future uses of the subject property. Occasional maintenance would occur on site, but would not generate significant, measurable trips.

3) Public protection services (e.g., Fire protection, Sheriff protection, etc.) are readily available; and

The project site is located in a developed portion of the City that is served by public facilities, services, and utilities. The site is unmanned; therefore, the proposed project is not anticipated to generate significant additional demand on public facilities, services, and utilities. Furthermore, as proposed, the project would improve the city's cellular coverage and service.

4) The provision of utilities (e.g., potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.) is adequate to serve the site.

The proposed wireless communications facility would be located in an existing commercial center within a developed area of the city and would have no significant effect upon the environment or natural resources. The proposed unmanned facility would not alter site drainage, does not require connection to potable water and will not produce any additional solid waste on site.

SECTION 4. WIRELESS COMMUNICATIONS FACILITIES ORDINANCE FINDINGS FOR MASTER CASE NO. 13-188. Based on the foregoing facts and findings for Master Case No. 13-188, the Planning Commission hereby determines as follows:

- A. That the proposed wireless communications facility complies with aesthetic and screening standards set forth in the Wireless Communications Facilities Ordinance;

The City's Wireless Communications Facilities Ordinance recommends that new wireless communications facilities be placed on existing structures whenever possible, that roof-mounted facilities be designed to appear as an integral part of the building, that a stealth or concealed design be used, and that all facilities be screened from public view to the extent possible. The proposal consists of roof-mounted equipment and antennas that would be located behind parapet wall extensions and would be completely screened and concealed from public view. Because the proposed wireless communications facility conforms to these aesthetic standards, the proposal fully complies with the Wireless Communications Facilities Ordinance's aesthetic and screening standards.

- B. That the proposed wireless communications facility complies with siting standards set forth in the Wireless Communications Facilities Ordinance;

Applicants for new wireless communications facilities are encouraged by the City's Wireless Communications Facilities Ordinance to locate new facilities on existing buildings, structures, or communication towers whenever possible. The ordinance also encourages co-location with other wireless communications facilities and new facilities to be designed to accommodate co-location. The project includes a proposal for co-location with another cellular provider and would be located on the roof on an existing commercial building. The proposed facility would also be required to adhere to all minimum siting distances to habitable structures required for compliance with Federal Communications Commission regulations and standards governing the environmental effects of radio frequency emissions. Therefore, the proposal complies with the City's siting standards for new wireless communications facilities.

- C. That the proposed wireless communications facility complies with noise standards set forth in the Wireless Communications Facilities Ordinance; and

A noise study was prepared for the proposed project with noise measurements taken during the daytime and nighttime hours at the nearest residential property to the proposed wireless communications facility. The study concludes that with the installation and

operation of the proposed project, there would be no increase in ambient noise resulting from the project. The proposed project would comply with the noise standards of the Wireless Communications Facilities Ordinance.

- D. That the proposed wireless communications facility complies with development guidelines set forth in the Wireless Communications Facilities Ordinance.

The proposed wireless communications facility is in conformance with the development guidelines outlined in the Wireless Communications Facilities Ordinance because it is located on an existing commercial building, it is a stealth facility with antennas completed concealed from public view, it is co-located with another cellular facility and is designed to accommodate co-location, and it is architecturally integrated into the subject commercial building.

SECTION 5. NOW, THEREFORE, BE IT RESOLVED, by the Planning Commission of the City of Santa Clarita, California, as follows:

Adopt Resolution P14-10, approving Master Case 13-188, Conditional Use Permit 13-015, to allow for the installation and operation of a wireless communications facility, located at 24025 Newhall Ranch Road (APN: 2811-084-001), subject to the attached conditions of approval (Exhibit A of Resolution P14-10).

PASSED, APPROVED, AND ADOPTED this 1st day of July, 2014.

CHARLES HEFFERNAN, CHAIRPERSON
PLANNING COMMISSION

ATTEST:

JEFF W. HOGAN, SECRETARY
PLANNING COMMISSION

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES)
CITY OF SANTA CLARITA)

I, Jeff W. Hogan, Planning Commission Secretary of the City of Santa Clarita, do hereby certify that the foregoing Resolution was duly adopted by the Planning Commission of the City of Santa Clarita at a regular meeting thereof, held on the 1st day of July, 2014 by the following vote of the Planning Commission:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

PLANNING COMMISSION SECRETARY

EXHIBIT A
RESOLUTION NO. P14-10
MASTER CASE NO. 13-188
CONDITIONAL USE PERMIT 13-015

DRAFT CONDITIONS OF APPROVAL

GENERAL CONDITIONS

- GC1. The approval of this project shall expire if not put into use within two (2) years from the date of conditional approval, unless it is extended in accordance with the terms and provisions of the City of Santa Clarita's Unified Development Code (UDC).
- GC2. The applicant may file for an extension of the conditionally approved project prior to the date of expiration. If such an extension is requested, it must be filed no later than 60 days prior to expiration.
- GC3. To the extent the use approved with this project is a different use than previously approved for the property, the prior approval shall be terminated along with any associated vested rights to such use, unless such prior approved use is still in operation, or is still within the initial pre-commencement approval period. Once commenced, any discontinuation of the use approved with this project for a continuous period of one hundred eighty (180) calendar days or more shall terminate the approval of this use along with any associated vested rights to such use. The pre-existing legal use shall not be re-established or resumed after the one hundred eight (180) day period. Discontinuation shall include cessation of a use regardless of intent to resume.
- GC4. The applicant shall be responsible for notifying the Director of Community Development, in writing, of any change in ownership, designation of a new engineer, or change in the status of the developer, within 30 days of said change.
- GC5. Unless otherwise apparent from the context, the term "applicant" shall include the applicant and any other persons, corporation, or other entity making use of this grant. The applicant shall defend, indemnify, and hold harmless the City of Santa Clarita, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attach, set aside, void, or annul the approval of this Project by the City. In the event the City becomes aware of any such claim, action, or proceeding, the City shall promptly notify the applicant, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Nothing contained in this condition prohibits the City from participating in the defense of any claim, action, or proceeding, if both of the following occur: 1) The City bears its own attorneys' fees and costs; and 2) the City defends the action in

- good faith. The applicant shall not be required to pay or perform any settlement unless the settlement is approved by the applicant.
- GC6. The property shall be developed and maintained in substantial conformance with the approvals granted by the City. Any modifications shall be subject to further review by the City.
- GC7. The applicant and property owner shall comply with all inspection requirements as deemed necessary by the City of Santa Clarita.
- GC8. The owner, at the time of issuance of permits or other grants of approval agrees to develop the property in accordance with City codes and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Code, Highway Permit Ordinance, Mechanical Code, Unified Development Code, Sanitary Sewer and Industrial Waste Ordinance, Electrical Ordinance and Fire Code.
- GC9. The applicant must sign and notarize the attached affidavit to confirm acceptance of the conditions of this grant. The notarized affidavit must then be returned to the Planning Division before occupancy.
- GC10. It is hereby declared and made a condition of this permit that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the City may commence proceedings to revoke this approval.

PLANNING DIVISION

- PL1. The applicant is hereby granted approval to install and operate an unmanned wireless communications facility on the roof of an existing building located at 24025 Newhall Ranch Road (APN: 2811-084-001). The proposed facility consists of a 200 square-foot equipment area (with two GPS antennas and equipment cabinets), three sectors of antennas (with four (4) six-foot high antennas and eight remote radio units per sector), and parapet wall extensions to screen the equipment and antennas. The parapet wall extensions would increase the building height to between 35 and 39 feet in height.
- PL2. The wireless communications facility shall be constructed and installed in accordance with the approved site plan, elevation plan, colors and materials board and specifications on file with the Planning Division. Any change in size, location or configuration shall be subject to the review of the Director of Community Development, and may require approval of the Planning Commission.
- PL3. The wireless communications facility, including all architectural parapet wall extensions, shall be designed to appear as an integral part of the building and shall be located to minimize visual impacts. All screening and architectural additions shall match the architecture, texture, detail, and color of the building and be constructed of like materials and colors, to the satisfaction of the Director of

Community Development.

- PL4. All roof-mounted equipment, including cabinets or similar equipment, shall be fully screened from public view with screen walls (all 4 sides) that are compatible with the existing building in terms of architecture, material, detail, color, and texture.
- PL5. In the event that the co-applicant (Verizon Wireless, Master Case No. 13-198) for the proposed co-located wireless communications facilities does not pursue construction of its proposed facility, the applicant shall be responsible for constructing the common parapet screen walls to its ultimate design proposal, as shown on the approved plans.
- PL6. Within 30 days of notification by the City or any other affected agency of maintenance concerns regarding the approved wireless communications facility, the applicant shall remedy said concern to the satisfaction of the Director.
- PL7. All requirements of the Unified Development Code (UDC) and specific zoning for the subject property shall be complied with unless set forth in this permit and shown on the approved site plan.
- PL8. All antennas shall meet the minimum siting distances to habitable structures required for compliance with Federal Communications Commission (FCC) regulations and standards governing the environmental effects of radio frequency emissions.
- PL9. The proposed wireless communication facility shall conform to all standards and guidelines of the UDC including Chapter 17.69 (Wireless Communication Facilities and Satellite Dish Antennas).
- PL10. The wireless communications facility shall not bear any signs or advertising devices other than certification, warning, or required signage. All required seals and signage shall be obscured by building and screening design when, and as much as, possible.
- PL11. All wire or cable necessary for operation of the facility including reception shall be screened from view and/or placed underground or buried as part of construction.
- PL12. Necessary equipment for the proposed project shall be located in a locked or otherwise secured area that is not accessible to unauthorized persons. All wireless communications facilities shall be designed to prevent unauthorized climbing.
- PL13. The wireless communications facility shall not restrict access to any existing antenna or potential future antenna location which could be used either by the permittee or by another provider.

- PL14. If the wireless communications facility becomes inoperative or is abandoned for six months, the applicant shall dismantle and remove the facility no later than ninety (90) days after that six-month period.
- PL15. The operation of the facility shall not cause interference with any electrical equipment in the surrounding neighborhoods, including television, radio, telephone or computer use, nor may the antenna create harmful interference between any other telecommunication facilities, including City-owned communication facilities.
- PL16. All facilities shall comply with City adopted noise standards. All equipment, including accessory equipment shall comply with the City's noise standards as set forth in the City's noise ordinance. If necessary, equipment shall be replaced or modified with noise dampening materials or techniques to come into compliance with City standards. The proposed project shall result in no net increase to the existing ambient noise levels on the subject property and comply with the City of Santa Clarita's Noise Ordinance.
- PL17. Prior to issuance of building permits, the applicant shall comply with all applicable regulations and fees of affected agencies.

ENGINEERING/DEVELOPMENT SERVICES DIVISION

- EN1. Prior to issuance of building permits, the applicant shall obtain a notarized Letter of Permission from the property owner for construction of the proposed facility and record an access easement.
- EN2. Prior to any construction, trenching, or grading within public street right-of-way, the applicant shall obtain encroachment permits from the Development Services Division.
- EN3. Prior to any construction, trenching, or grading within any existing recorded easements, the applicant shall obtain written permission/approval(s) from the respective public or private entity.

BUILDING AND SAFETY DIVISION

- BS1. Detailed construction plans for the wireless communications facility shall be submitted to the Building and Safety Division for plan review and building permit issuance. Supporting documentation, such as structural calculations, energy calculations, and soil/geology reports shall be included in the plan submittal package.
- BS2. Plans submitted for plan review shall show full compliance with the California Building Codes in effect at the time the plans and building permit application are

- submitted. The current California codes are: 2013 California Building, Mechanical, Plumbing, and Electrical Codes, and the 2010 California Energy Code.
- BS3. Plans submitted to Building and Safety for plan review shall be 100% complete. Plans submitted shall show all work being performed for this project including architectural, structural, mechanical, electrical and plumbing. Plans shall be prepared by a licensed design professional (architect or engineer).
- BS4. For the building-mounted equipment, cupolas and screen walls, the applicant shall provide a complete vertical and lateral analysis and submit structural calculations and details for attachment of all new equipment and/or structures to the roof and/or walls of existing buildings. Plans shall include full structural details imposed by the new roof-mounted cupolas down to the foundation of the existing building.
- BS5. Submitted plans shall be stamped and signed by a California licensed architect or engineer qualified to design the type of work proposed.
- BS6. Prior to submitting plans to Building and Safety for plan review, the applicant shall contact Deanna Hamrick or Racheal Allen, at (661) 255-4935, for project addressing or address verification.
- BS7. Any structures proposed in an easement shall obtain written permission from the easement holder(s).
- BS8. All buildings, walls, fences, retaining walls and other structures shall be set back from the adjacent ascending or descending slopes per section 1805.3 CBC.
- BS9. Prior to issuance of building permits, clearances from other agencies may be required. The applicant shall contact Building and Safety for the agency clearances required for this project.
- BS10. These conditions are based on a review of preliminary plans submitted by the applicant. Additional conditions and more detailed building code requirements will be listed during the plan review process when plans are submitted to Building and Safety.

ENVIRONMENTAL SERVICES

- ES1. All demolition projects regardless of valuation and renovation projects valued greater than \$100,000 must comply with the City's Construction and Demolition Materials (C&D) Recycling Ordinance.
- ES2. The applicant shall comply with the C&D Recycling Ordinance and the following:

- a) A Construction and Demolition Materials Management Plan (C&DMMP) must be prepared and approved by the Environmental Services Division prior to obtaining any grading or building permits.
 - b) A minimum of 50% of the entire project's inert (dirt, rock, bricks, etc.) waste and 50% of the remaining C&D waste must be recycled or reused rather than disposing in a landfill.
 - c) A deposit of 3% of the estimated total project cost or \$25,000, whichever is less, is required. The full deposit will be returned to the applicant upon proving that 50% of the inert and remaining C&D waste was recycled or reused.
- ES3. Per the California Green Building Standards Code, 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a phased project, such material may be stockpiled on site until the storage site is developed.
- ES4. All projects within the City that are not self-hauling their waste materials shall use one of the City's franchised haulers for temporary and roll-off bin collection services. The applicant may contact Environmental Services staff at (661) 286-4098 for a complete list of franchised haulers in the City.



CITY OF SANTA CLARITA
COMMUNITY DEVELOPMENT DEPARTMENT
23920 Valencia Boulevard, Suite 302
Santa Clarita, CA 91355

NOTICE OF PUBLIC HEARING

APPLICATION: Master Case No. 13-188, Conditional Use Permit 13-015

PROJECT APPLICANT: AT&T

PROJECT LOCATION: 24025 Newhall Ranch Road; APN 2811-084-001 (Bridgeport Marketplace)

PROJECT DESCRIPTION: The applicant is requesting approval of a Conditional Use Permit (CUP) to allow for the installation and operation of a new wireless communications facility on the roof of the westernmost building at the Bridgeport Marketplace commercial center. AT&T's proposal consists of a 200 square-foot equipment area, three sectors of antennas (four antennas per sector), and parapet wall extensions to screen the equipment and antennas. The antennas would be six feet in height and located behind parapet wall extensions that would be eight feet in height. The existing height of the building ranges between 29 and 35 feet and would be increased at the proposed parapet wall extensions to up to 39 feet in height, thus requiring a CUP. The subject property is zoned CC (Community Commercial).

The City of Santa Clarita Planning Commission will conduct a public hearing on this matter on the following date:

DATE: Tuesday, July 1, 2014
TIME: At or after 6:00 p.m.
LOCATION: City Hall, Council Chambers
23920 Valencia Blvd., First Floor
Santa Clarita, CA 91355

A NOTICE OF EXEMPTION was prepared for the proposed project. The project is exempt from the California Environmental Quality Act (CEQA) under Article 19 Categorical Exemptions, Section 15301, Class 1. A Class 1 exemption consists of minor alterations of existing public or private structures and facilities involving negligible or no expansion of an existing use.

If you wish to challenge the action taken on this matter in court, you may be limited to raising only those issues you or someone else raised at the public hearings described in this notice, or written correspondence delivered to the City of Santa Clarita at, or prior to, the public hearings. If you wish to have written comments included in the materials the Planning Commission receives prior to the public hearing, it must be submitted to the Community Development Department by Friday, June 20, 2014.

For further information regarding this proposal, you may contact the project planner at the City of Santa Clarita, Permit Center, 23920 Valencia Blvd., Suite 140, Santa Clarita, CA 91355. Telephone: (661) 255-4330. Website: www.santa-clarita.com/planning. Send written correspondence to: 23920 Valencia Blvd., Suite 302, Santa Clarita, CA 91355. Project Planner: James Chow, Associate Planner, jchow@santa-clarita.com.

Jeff W. Hogan, AICP, Planning Manager

Published: The Signal, June 10, 2014



 This map is a user-generated static output from City of Santa Clarita GIS Online mapping website and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. The City of Santa Clarita does not warrant the accuracy of the data and assumes no liability for any errors or omissions.

NOTICE OF EXEMPTION



TO: FROM:

County Clerk
County of Los Angeles
12400E Imperial Hwy., Rm. 2001
Norwalk, CA 90650

Office of Planning and Research
1400 Tenth Street
Sacramento, CA 95814

City of Santa Clarita
Community Development
23920 Valencia Boulevard, Suite #302
Santa Clarita, CA 91355

DATE: July 2, 2014

PROJECT NAME: Master Case No. 13-188: CUP 13-015

PROJECT APPLICANT: AT&T

PROJECT LOCATION: 24025 Newhall Ranch Road (APN: 2811-084-001)

PROJECT DESCRIPTION: The applicant is proposing a wireless communications facility that would be mounted on the roof of the westernmost building at Bridgeport Marketplace. AT&T's proposal consists of a 200 square-foot equipment area (with two GPS antennas and equipment cabinets), three sectors of antennas (with four six-foot high antennas and eight remote radio units per sector), and parapet wall extensions to screen the equipment and antennas from public view. The parapet wall extensions, ranging between six and ten feet high, would increase the overall building height from 29 feet to up to 39 feet in height. The property is zone CC (Community Commercial).

This is to advise that the Director of Community Development Planning Commission City Council of the City of Santa Clarita has approved the above project on July 1, 2014. Review of the project by the Department of Community Development found that the project is exempt from the provisions of the California Environmental Quality Act.

EXEMPT STATUS: California Environmental Quality Act under Article 19 Section 15301, the project is exempt under Class 1. Class 1 categorical exemptions include the operation, leasing, or minor alterations of existing public or private structures or facilities.

Person or agency carrying out the project: City of Santa Clarita, Community Development Department

This is to certify that the Notice of Exemption with comments/responses and record of project approval is available for public review at:

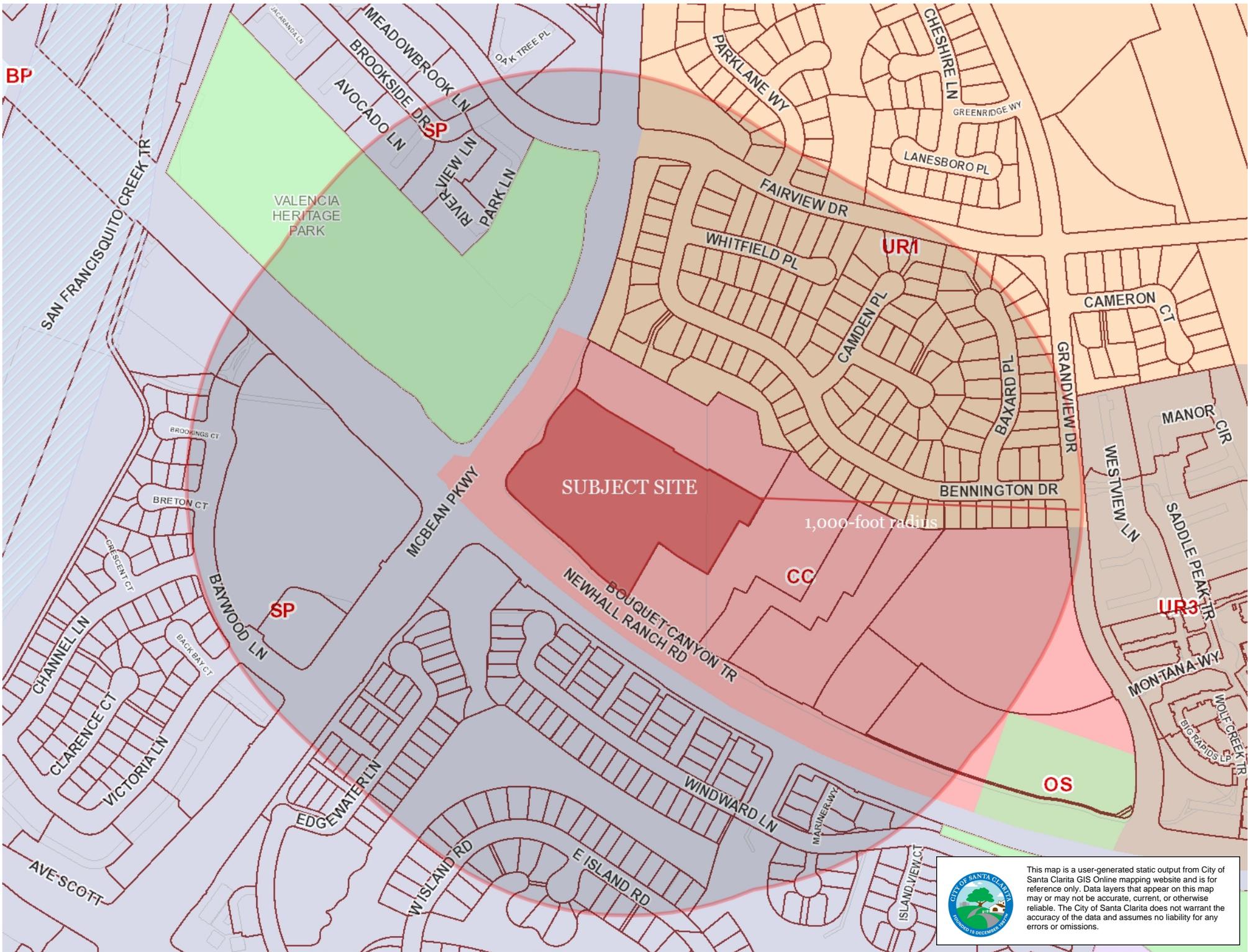
City of Santa Clarita
Community Development Department
23920 Valencia Boulevard, Suite 302
Santa Clarita, California 91355
(661) 255-4330

Contact Person/Title: James Chow, Associate Planner

Signature: _____



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CODE COMPLIANCE ** NOTE: ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THESE CODES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

1. 2013 CALIFORNIA ADMINISTRATIVE CODE (CAC)	5. 2010 CALIFORNIA ENERGY CODE (2008 EDITION CALIFORNIA ENERGY COMMISSION BUILDING ENERGY EFFICIENCY STANDARDS)
2. 2013 CALIFORNIA BUILDING CODE (CBC), VOLUMES 1, AND 2 (2012 EDITION INTERNATIONAL BUILDING CODE WITH 2013 CALIFORNIA AMENDMENTS)	6. 2013 CALIFORNIA FIRE CODE (CFC) (2012 EDITION OF INTERNATIONAL FIRE CODE WITH 2010 CALIFORNIA AMENDMENTS)
3. 2013 CALIFORNIA ELECTRICAL CODE (2011 EDITION NATIONAL ELECTRICAL CODE WITH 2013 CALIFORNIA AMENDMENTS)	7. 2013 CALIFORNIA GREEN CODE
4. 2013 CALIFORNIA MECHANICAL CODE (CMC) (2012 EDITION IAPMO UNIFORM MECHANICAL CODE WITH 2013 CALIFORNIA AMENDMENTS)	8. 2013 CALIFORNIA REFERENCES STANDARDS CODE

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A-2.4	GENERATOR PLAN (VERIZON)	2
A-3.0	EXISTING ELEVATIONS	2
A-3.0.1	ELEVATIONS (COMBINED)	2
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A-3.1	EXISTING ELEVATIONS	2
A-3.1.1	ELEVATIONS (COMBINED)	2
A-3.1.2	ELEVATIONS (AT&T ONLY)	2
A-3.1.3	ELEVATIONS (VERIZON ONLY)	2
A-3.2	EXISTING ELEVATIONS	2
A-3.2.1	ELEVATIONS (COMBINED)	2
A-3.2.2	ELEVATIONS (AT&T ONLY)	2
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A-4.0	AT&T ANTENNA & RRU EQUIPMENT TABLES	2



SITE NAME: MCBEAN-BRIDGEPORT
NUMBER: NL0448.2

SITE NAME: BRIDGEPORT

PROJECT INFORMATION (AT&T)

SCOPE OF WORK: AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF:

- (12) AIR ANTENNAS BEHIND FRP SCREENING ON EXISTING BUILDING
- (24) REMOTE RADIO UNITS AT ANTENNA AREA
- (6) DC SURGE SUPPRESSORS AT ANTENNA AREA
- 10'x20' STEEL PLATFORM AT ROOFTOP
- OUTDOOR EQUIPMENT ON STEEL PLATFORM
- POWER AND TELCO PANELS ON STEEL PLATFORM
- (2) GPS ANTENNAS AT EQUIPMENT AREA
- POWER, TELCO AND FIBER RUNS

APPLICANT: AT&T MOBILITY SERVICES
12900 PARK PLAZA DRIVE
CERRITOS, CA 90703

CONTACT: RENIA BOUDAGHIAN
(562) 207-8487

SITE ACQUISITION: ISIAH IREYS
PHONE: (714) 793-6973

ZONING: VANCE POMEROY
PHONE: (661) 361-5619

RF ENGINEER: SANDEEP MANGAT
PHONE: (540) 815-6789

ANTENNA SECTOR 'A'
LATITUDE (NAD83): 34° 25' 50.90" N
LONGITUDE (NAD83): 118° 33' 20.47" W

ANTENNA SECTOR 'B'
LATITUDE (NAD83): 34° 25' 50.57" N
LONGITUDE (NAD83): 118° 33' 21.93" W

ANTENNA SECTOR 'C'
LATITUDE (NAD83): 34° 25' 52.23" N
LONGITUDE (NAD83): 118° 33' 23.77" W

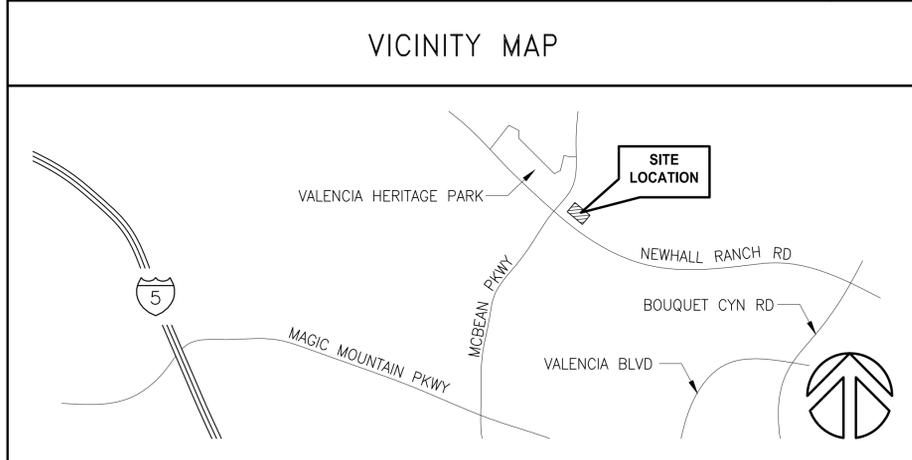
PROJECT INFORMATION (VERIZON)

SCOPE OF WORK: AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF:

- (16) PANEL ANTENNAS BEHIND NEW FRP SCREENING ON EXISTING BUILDING
- (1) MICROWAVE ANTENNA MOUNTED BEHIND NEW SCREENS
- (5) EQUIPMENT CABINETS ON NEW RAISED PLATFORM ON EXISTING BUILDING ROOFTOP
- (4) TMA'S AT ANTENNA AREA
- (8) RRU'S AT ANTENNA AREA
- (1) PERMANENT DC GENERATOR WITH FUEL TANK WITHIN A SPLIT FACE CMU WALL ENCLOSURE AT GROUND LEVEL
- POWER, TELCO AND FIBER/COAX RUNS

APPLICANT: VERIZON WIRELESS
15505 SAND CANYON AVENUE
BUILDING D, FIRST FLOOR
IRVINE, CALIFORNIA 92618

CONTACT: PROPERTY MANAGER
PHONE: (949) 286-7000



AT&T SITE ADDRESS: 24025 NEWHALL RANCH ROAD
SANTA CLARITA, CA 91355

VERIZON SITE ADDRESS: 24015 NEWHALL RANCH ROAD
SANTA CLARITA, CA 91355

BUILDING SUMMARY:

OCCUPANCY: MIXED (B, M, S-2)

TYPE OF CONSTRUCTION: V-A (UNMANNED TELECOM)

ZONING: COMMUNITY COMMERCIAL (CC)

JURISDICTION: CITY OF SANTA CLARITA

ACCESSIBILITY REQ'D: UNMANNED TELECOMMUNICATIONS FACILITY AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED.

PROPERTY INFORMATION:

PROPERTY OWNER: BRIDGEPORT MARKETPLACE LLC

ADDRESS: 28338 CONSTELLATION ROAD #900
SANTA CLARITA, CA 91355

CONTACT: CHRIS HAILSTONE
PHONE: (661) 702-2333

ELEVATION (NAVD88): 1128 FT A.M.S.L.

APN: 2811-084-001

LEASE AREA (AT&T): 200.0 SQ. FT.

LEASE AREA (VERIZON): 293.0 SQ. FT.

LEGAL DESCRIPTION:

PARCELS 1 TO 5 OF PARCEL MAP NO. 63295, IN THE CITY OF SANTA CLARITA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 346, PAGES 26 TO 32, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM ALL OIL, OIL RIGHTS, MINERALS MINERAL RIGHTS, NATURAL GAS RIGHTS AND OTHER HYDROCARBONS BY WHATSOEVER NAME KNOWN, GEOTHERMAL STEAM AND ALL PRODUCTS DERIVED FROM ANY OF THE FOREGOING, THAT MAY BE WITHIN OR UNDER THE REAL PROPERTY REFERRED TO ABOVE, TOGETHER WITH THE PERPETUAL RIGHT OF DRILLING, MINING, EXPLORING AND OPERATING THEREFOR AND STORING IN AND REMOVING THE SAME FROM SUCH REAL PROPERTY OR ANY OTHER PROPERTY, INCLUDING THE RIGHT TO WHIPSTOCK OR DIRECTIONALLY DRILL AND MINE FROM PROPERTIES OTHER THAN THE REAL PROPERTY REFERRED TO ABOVE, OIL OR GAS WELLS, TUNNELS AND SHAFTS INTO, THROUGH OR ACROSS THE SUBSTANCE OF THE REAL PROPERTY REFERRED TO ABOVE, AND TO THE BOTTOM SUCH WHIPSTOCKED OR DIRECTIONALLY DRILLED WELLS, TUNNELS AND SHAFTS UNDER AND BENEATH OR BEYOND THE EXTERIOR LIMITS THEREOF, AND TO REDRILL, RETURNEL, EQUIP, MAINTAIN, REPAIR, DEEPEN, AND OPERATE ANY SUCH WELLS OR MINES WITHOUT, HOWEVER, THE RIGHT TO DRILL, MINE, STORE, EXPLORE OR OPERATE THROUGH THE SURFACE OF THE REAL PROPERTY REFERRED TO ABOVE OR THE UPPER 500 FEET OF THE SUBSURFACE OF SUCH REAL PROPERTY, RESERVED BY DEED RECORDED OCTOBER 28, 2005, AS INSTRUMENT NO. 05-2606707, OFFICIAL RECORDS OF SAID COUNTY.

****FOR COMPLETE LEGAL DESCRIPTION, PLEASE SEE SHEET LS-1, TOPOGRAPHIC SURVEY****

DCI PACIFIC
A|E|C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING
32 EXECUTIVE PARK | SUITE 110 | IRVINE | CA 92614
T 949 475.1000 | 949 475.1001 F

VeloTera
SERVICES, Inc.

7431 LAMPSON AVENUE
GARDEN GROVE, CA 92841

NL0448.2
MCBEAN-BRIDGEPORT

24015 & 24025 NEWHALL RANCH ROAD
SANTA CLARITA, CA 91355

12900 PARK PLAZA DRIVE
CERRITOS, CA 90703

15505 Sand Canyon Avenue Building D, 1st Floor
Irvine, California 92618
(949) 286-7000

NO.	DATE	REVISIONS	BY	CHK	APP'D
2	05/30/14	INCORPORATED PLANNING DEPT. COMMENTS	FV	BOK	DKD
1	04/17/14	COMBINED AT&T AND VERIZON ZD'S	FV	BOK	DKD
0	11/26/13	ISSUED FOR ZONING PERMIT (100% ZD)	FV	BOK	DKD
A	10/22/13	ISSUED FOR ZD REVIEW AND COMMENT (90% ZD)	FV	BOK	DKD

SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE	SHEET NUMBER
TITLE SHEET	T-1.0



12841 Newport Avenue
Tustin, California 92780-2711
(714) 665-9500
Fax (714) 665-9501

PREPARED BY:
BERT HAZE
AND ASSOCIATES, INC.
LAND SURVEYING & MAPPING
3188 AIRWAY AVENUE, SUITE K1
COSTA MESA, CALIFORNIA 92626
714 557-1567 OFFICE
714 557-1568 FAX
JN. 728.245

APPLICANT
verizonwireless
15505 Sand Canyon Avenue
Building D, 1st Floor
Irvine, California 92618
(949) 286-7000

SITE INFORMATION
Bridgeport
Marketplace
24015 Newhall Ranch Road
Santa Clarita, California 91354

APPROVALS

DEPARTMENT	INITIALS	DATE
LANDLORD:		
ZONING:		
VZW SITE ACQ:		
VZW RF:		
VZW INTERCONNECT:		
VZW UTILITY COORD:		
VZW CONST. MGR:		
VZW PROJ. MGR:		

REVISIONS

△	Description	Date
1	ISSUED FOR REVIEW (RF)	09/19/13
2	ADDED TITLE INFO. (JA)	10/01/13

Job Number: JN. 728.245	Drawn By: RF
Scale: 1" = 40'	Checked By: CWW

SHEET TITLE
TOPOGRAPHIC SURVEY
LS-1

TITLE REPORT IDENTIFICATION:
COMMONWEALTH LAND TITLE COMPANY, PRELIMINARY TITLE REPORT NO. 08020265, DATED AS OF AUGUST 21, 2013.

EASEMENT NOTES:
EASEMENT(S) SHOWN HEREON ARE PER COMMONWEALTH LAND TITLE COMPANY, PRELIMINARY TITLE REPORT NO. 08020265, DATED AS OF AUGUST 21, 2013.
2 AN EASEMENT GRANTED TO COUNTY OF LOS ANGELES FOR SANITARY SEWER, RECORDED DECEMBER 4, 1987, AS INSTRUMENT NO. 87-1921327, OFFICIAL RECORDS. (ABANDONED BY TRACT MAP NO. 44481, M.B. 1115/28-48)
3 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, RECORDED MARCH 15, 1959, AS INSTRUMENT NO. 89-387831, OFFICIAL RECORDS. MODIFICATION RECORDED FEBRUARY 12, 1993, AS INSTRUMENT NO. 93-274460, OFFICIAL RECORDS. (GENERAL ESMTS. EXACT LOCATION NOT GIVEN IN DOCUMENTS, AND DRAINAGE, DOES NOT APPLY)
4 AN EASEMENT GRANTED TO CITY OF SANTA CLARITA FOR PUBLIC STREET, RECORDED SEPTEMBER 20, 1999, AS INSTRUMENT NO. 99-1785932, OFFICIAL RECORDS. (CONTAINED WITHIN NEWHALL RANCH RD.)
5 AN EASEMENT FOR FLOOD CONTROL, SHOWN ON TRACT NO. 44481, M.B. 1115/28-48, A QUITCLAIM RECORDED JANUARY 10, 2006, AS INSTRUMENT NO. 06-0058014, OFFICIAL RECORDS.
6 AN EASEMENT FOR INGRESS AND EGRESS SHOWN ON TRACT NO. 44481, M.B. 1115/28-48, (ALONG NE'LY LINE PARCEL 2, OUT OF SCOPE OF SURVEY)
10 AN EASEMENT FOR SANITARY SEWER, INGRESS AND EGRESS, SHOWN ON PARCEL MAP NO. 63295, P.M.B. 346/26-32.
11 AN EASEMENT FOR PUBLIC DRIVEWAY AND FIRE LANE, SHOWN ON PARCEL MAP NO. 63295, P.M.B. 346/26-32.
12 AN EASEMENT FOR PUBLIC USE AND SIDEWALK, SHOWN ON PARCEL MAP NO. 63295, P.M.B. 346/26-32.
13 COVENANTS, CONDITIONS, RESTRICTIONS AND A RECIPROCAL EASEMENT FOR PARKING, RECORDED FEBRUARY 22, 2007, AS INSTRUMENT NO. 20070382968, OFFICIAL RECORDS. (EXACT LOCATION NOT GIVEN IN DOCUMENT)
14 A "RECIPROCAL EASEMENT AGREEMENT" RECORDED FEBRUARY 22, 2007, AS INSTRUMENT NO. 20070382970, OFFICIAL RECORDS. (EXACT LOCATION NOT GIVEN IN DOCUMENT)
15 AN EASEMENT GRANTED TO SOUTHERN CALIFORNIA GAS COMPANY FOR PUBLIC UTILITIES, RECORDED MARCH 14, 2007, AS INSTRUMENT NO. 20070571608, OFFICIAL RECORDS. (THE EXACT LOCATION AND/OR EXTENT OF SAID EASEMENT IS NOT DISCLOSED IN THE PUBLIC RECORDS)
16 AN EASEMENT GRANTED TO VALENCIA WATER COMPANY FOR PUBLIC UTILITIES, RECORDED JULY 2, 2007, AS INSTRUMENT NO. 20071578450, OFFICIAL RECORDS.
17 AN EASEMENT GRANTED TO VALENCIA WATER COMPANY FOR PUBLIC UTILITIES, RECORDED JULY 2, 2007, AS INSTRUMENT NO. 20071578451, OFFICIAL RECORDS.
18 A "COVENANT AND AGREEMENT REGARDING MAINTENANCE OF YARDS FOR AN OVER-SIZED BUILDING" RECORDED JULY 27, 2007, AS INSTRUMENT NO. 20071780467, OFFICIAL RECORDS. (APPROX. LOCATION FROM EXHIBIT)
19 AN EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON COMPANY FOR PUBLIC UTILITIES, RECORDED OCTOBER 4, 2007, AS INSTRUMENT NO. 20072279776, OFFICIAL RECORDS.

LEGAL DESCRIPTION:
PARCELS 1 TO 5 OF PARCEL MAP NO. 63295, IN THE CITY OF SANTA CLARITA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 346, PAGES 26 TO 32, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
EXCEPT THEREFROM ALL OIL, OIL RIGHTS, MINERALS MINERAL RIGHTS, NATURAL GAS RIGHTS AND OTHER HYDROCARBONS BY WHATSOEVER NAME KNOWN, GEOTHERMAL STEAM AND ALL PRODUCTS DERIVED FROM ANY OF THE FOREGOING, THAT MAY BE WITHIN OR UNDER THE REAL PROPERTY REFERRED TO ABOVE, TOGETHER WITH THE PERPETUAL RIGHT OF DRILLING, MINING, EXPLORING AND OPERATING THEREFOR AND STORING IN AND REMOVING THE SAME FROM SUCH REAL PROPERTY OR ANY OTHER PROPERTY, INCLUDING THE RIGHT TO WHIPSTOCK OR DIRECTIONALLY DRILL AND MINE FROM PROPERTIES OTHER THAN THE REAL PROPERTY REFERRED TO ABOVE, OIL OR GAS WELLS, TUNNELS AND SHAFTS INTO, THROUGH OR ACROSS THE SUBSTANCE OF THE REAL PROPERTY REFERRED TO ABOVE, AND TO THE BOTTOM SUCH WHIPSTOCKED OR DIRECTIONALLY DRILLED WELLS, TUNNELS AND SHAFTS UNDER AND BENEATH OR BEYOND THE EXTERIOR LIMITS THEREOF, AND TO REDRILL, RETUNNEL, EQUIP, MAINTAIN, REPAIR, DEEPEN, AND OPERATE ANY SUCH WELLS OR MINES WITHOUT, HOWEVER THE RIGHT TO DRILL, MINE, STORE, EXPLORE OR OPERATE THROUGH THE SURFACE OF THE REAL PROPERTY REFERRED TO ABOVE OR THE UPPER 500 FEET OF THE SUBSURFACE OF SUCH REAL PROPERTY, RESERVED BY DEED RECORDED OCTOBER 28, 2005, AS INSTRUMENT NO. 05-2806707, OFFICIAL RECORDS OF SAID COUNTY.
ALSO EXCEPT THEREFROM ALL WATER AND WATER RIGHTS NOW OR IN THE FUTURE OWNED BY GRANTOR APPURTENANT TO RELATED IN ANY WAY TO THE REAL PROPERTY REFERRED TO ABOVE OR USED BY GRANTOR IN CONNECTION WITH OR RELATED TO SUCH REAL PROPERTY (NO MATTER HOW ACQUIRED BY GRANTOR) TOGETHER WITH THE RIGHT AND POWER TO EXPLORE, DRILL, REDRILL, REMOVE AND STORE THE SAME FROM, UNDER OR IN THE REAL PROPERTY REFERRED TO ABOVE OR TO DIVERT OR OTHERWISE UTILIZE SUCH WATER, RIGHTS OR INTERESTS ON ANY OTHER PROPERTY OWNED OR LEASED BY GRANTOR AND THE RIGHT AND POWER TO CONDUCT WATER OVER OR TO STORE WATER UNDERNEATH THE REAL PROPERTY REFERRED TO ABOVE BY SUCH MEANS AS GRANTOR DEEMS REASONABLE THE WATER AND WATER RIGHTS EXCEPTED AND RESERVED TO GRANTOR INCLUDE, BUT ARE NOT LIMITED TO, ALL RIPARIAN WATER RIGHTS, ALL APPROPRIATED WATER RIGHTS, ALL WATER RIGHTS AND RIGHTS TO STORE WATER IN SUBSURFACE RESERVOIRS BASED ON OVERLYING LAND OWNERSHIP, ALL LITTORAL WATER RIGHTS, ALL RIGHTS TO PERCOLATING WATER, ALL PRESCRIPTIVE WATER RIGHTS, ALL ADJUDICATED, STATUTORY OR CONTRACTUAL WATER RIGHTS, ALL RIGHTS TO AQUIFERS, RESERVOIRS, SUBSURFACE AND SURFACE WATERS, AND ALL RIGHTS TO TAKE, USE AND DEVELOP FOR USE ANY AND ALL WATER THAT MAY NOW EXIST OR MAY IN THE FUTURE EXIST UPON, IN OR UNDER THE REAL PROPERTY REFERRED TO ABOVE WITHOUT, HOWEVER, THE RIGHT TO DRILL, MINE, STORE, EXPLORE OR OPERATE THROUGH THE SURFACE OF THE REAL PROPERTY TO ABOVE OR THE UPPER 50 FEET OF THE SUBSURFACE OF SUCH REAL PROPERTY, RESERVED BY DEED RECORDED OCTOBER 28, 2005, AS INSTRUMENT NO. 05-2806707, OFFICIAL RECORDS OF SAID COUNTY.
○ DENOTES ITEM PLOTTED HEREON

DATE OF SURVEY:
SEPTEMBER 13, 2013

LIVING PLANTS STATEMENT:
THE HEIGHTS AND ELEVATIONS FOR THE TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY VALID FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.

AREA:
17.50± ACRES PER LOS ANGELES COUNTY ASSESSOR

BENCH MARK REFERENCE:
U.S.G.S. BENCH MARK "BM 1125"
UNITED STATES GEOLOGICAL SURVEY BENCH MARK "BM 1125" AS SHOWN ON THE "NEWHALL" 7.5 MINUTE QUADRANGLE MAP.

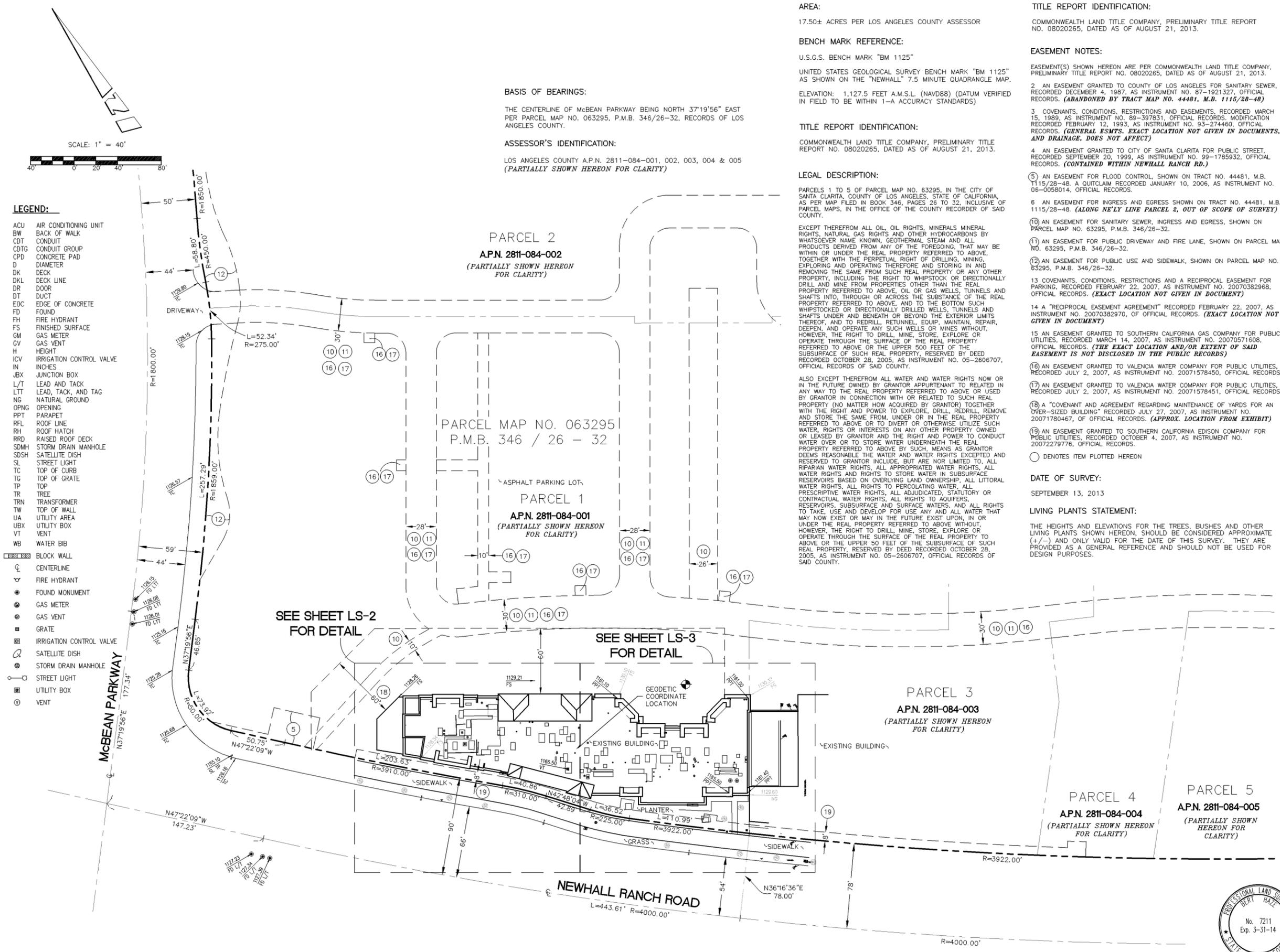
ELEVATION: 1,127.5 FEET A.M.S.L. (NAVD88) (DATUM VERIFIED IN FIELD TO BE WITHIN 1-A ACCURACY STANDARDS)

TITLE REPORT IDENTIFICATION:
COMMONWEALTH LAND TITLE COMPANY, PRELIMINARY TITLE REPORT NO. 08020265, DATED AS OF AUGUST 21, 2013.

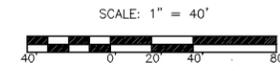
LEGAL DESCRIPTION:
PARCELS 1 TO 5 OF PARCEL MAP NO. 63295, IN THE CITY OF SANTA CLARITA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 346, PAGES 26 TO 32, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
EXCEPT THEREFROM ALL OIL, OIL RIGHTS, MINERALS MINERAL RIGHTS, NATURAL GAS RIGHTS AND OTHER HYDROCARBONS BY WHATSOEVER NAME KNOWN, GEOTHERMAL STEAM AND ALL PRODUCTS DERIVED FROM ANY OF THE FOREGOING, THAT MAY BE WITHIN OR UNDER THE REAL PROPERTY REFERRED TO ABOVE, TOGETHER WITH THE PERPETUAL RIGHT OF DRILLING, MINING, EXPLORING AND OPERATING THEREFOR AND STORING IN AND REMOVING THE SAME FROM SUCH REAL PROPERTY OR ANY OTHER PROPERTY, INCLUDING THE RIGHT TO WHIPSTOCK OR DIRECTIONALLY DRILL AND MINE FROM PROPERTIES OTHER THAN THE REAL PROPERTY REFERRED TO ABOVE, OIL OR GAS WELLS, TUNNELS AND SHAFTS INTO, THROUGH OR ACROSS THE SUBSTANCE OF THE REAL PROPERTY REFERRED TO ABOVE, AND TO THE BOTTOM SUCH WHIPSTOCKED OR DIRECTIONALLY DRILLED WELLS, TUNNELS AND SHAFTS UNDER AND BENEATH OR BEYOND THE EXTERIOR LIMITS THEREOF, AND TO REDRILL, RETUNNEL, EQUIP, MAINTAIN, REPAIR, DEEPEN, AND OPERATE ANY SUCH WELLS OR MINES WITHOUT, HOWEVER THE RIGHT TO DRILL, MINE, STORE, EXPLORE OR OPERATE THROUGH THE SURFACE OF THE REAL PROPERTY REFERRED TO ABOVE OR THE UPPER 500 FEET OF THE SUBSURFACE OF SUCH REAL PROPERTY, RESERVED BY DEED RECORDED OCTOBER 28, 2005, AS INSTRUMENT NO. 05-2806707, OFFICIAL RECORDS OF SAID COUNTY.
ALSO EXCEPT THEREFROM ALL WATER AND WATER RIGHTS NOW OR IN THE FUTURE OWNED BY GRANTOR APPURTENANT TO RELATED IN ANY WAY TO THE REAL PROPERTY REFERRED TO ABOVE OR USED BY GRANTOR IN CONNECTION WITH OR RELATED TO SUCH REAL PROPERTY (NO MATTER HOW ACQUIRED BY GRANTOR) TOGETHER WITH THE RIGHT AND POWER TO EXPLORE, DRILL, REDRILL, REMOVE AND STORE THE SAME FROM, UNDER OR IN THE REAL PROPERTY REFERRED TO ABOVE OR TO DIVERT OR OTHERWISE UTILIZE SUCH WATER, RIGHTS OR INTERESTS ON ANY OTHER PROPERTY OWNED OR LEASED BY GRANTOR AND THE RIGHT AND POWER TO CONDUCT WATER OVER OR TO STORE WATER UNDERNEATH THE REAL PROPERTY REFERRED TO ABOVE BY SUCH MEANS AS GRANTOR DEEMS REASONABLE THE WATER AND WATER RIGHTS EXCEPTED AND RESERVED TO GRANTOR INCLUDE, BUT ARE NOT LIMITED TO, ALL RIPARIAN WATER RIGHTS, ALL APPROPRIATED WATER RIGHTS, ALL WATER RIGHTS AND RIGHTS TO STORE WATER IN SUBSURFACE RESERVOIRS BASED ON OVERLYING LAND OWNERSHIP, ALL LITTORAL WATER RIGHTS, ALL RIGHTS TO PERCOLATING WATER, ALL PRESCRIPTIVE WATER RIGHTS, ALL ADJUDICATED, STATUTORY OR CONTRACTUAL WATER RIGHTS, ALL RIGHTS TO AQUIFERS, RESERVOIRS, SUBSURFACE AND SURFACE WATERS, AND ALL RIGHTS TO TAKE, USE AND DEVELOP FOR USE ANY AND ALL WATER THAT MAY NOW EXIST OR MAY IN THE FUTURE EXIST UPON, IN OR UNDER THE REAL PROPERTY REFERRED TO ABOVE WITHOUT, HOWEVER, THE RIGHT TO DRILL, MINE, STORE, EXPLORE OR OPERATE THROUGH THE SURFACE OF THE REAL PROPERTY TO ABOVE OR THE UPPER 50 FEET OF THE SUBSURFACE OF SUCH REAL PROPERTY, RESERVED BY DEED RECORDED OCTOBER 28, 2005, AS INSTRUMENT NO. 05-2806707, OFFICIAL RECORDS OF SAID COUNTY.
○ DENOTES ITEM PLOTTED HEREON

BASIS OF BEARINGS:
THE CENTERLINE OF McBEAN PARKWAY BEING NORTH 37°19'56" EAST PER PARCEL MAP NO. 063295, P.M.B. 346/26-32, RECORDS OF LOS ANGELES COUNTY.

ASSESSOR'S IDENTIFICATION:
LOS ANGELES COUNTY A.P.N. 2811-084-001, 002, 003, 004 & 005 (PARTIALLY SHOWN HEREON FOR CLARITY)



- LEGEND:**
- ACU AIR CONDITIONING UNIT
 - BW BACK OF WALK
 - CDT CONDUIT
 - CDTG CONDUIT GROUP
 - CPD CONCRETE PAD
 - D DIAMETER
 - DKL DECK
 - DKL DECK LINE
 - DR DOOR
 - DT DUCT
 - EOC EDGE OF CONCRETE
 - FD FOUND
 - FH FIRE HYDRANT
 - FS FINISHED SURFACE
 - GM GAS METER
 - GV GAS VENT
 - H HEIGHT
 - ICV IRRIGATION CONTROL VALVE
 - IN INCHES
 - JBX JUNCTION BOX
 - L/T LEAD AND TACK
 - LTT LEAD, TACK, AND TAG
 - NG NATURAL GROUND
 - OPNG OPENING
 - PPT PARAPET
 - RFL ROOF LINE
 - RH ROOF HATCH
 - RRD RAISED ROOF DECK
 - SDMH STORM DRAIN MANHOLE
 - SDSH SATELLITE DISH
 - SL STREET LIGHT
 - TC TOP OF CURB
 - TC TOP OF GRATE
 - TP TOP
 - TR TREE
 - TRN TRANSFORMER
 - TW TOP OF WALL
 - UA UTILITY AREA
 - UBX UTILITY BOX
 - VT VENT
 - WB WATER BIB
 - Block Wall
 - Centerline
 - Fire Hydrant
 - Found Monument
 - Gas Meter
 - Gas Vent
 - Grate
 - Irrigation Control Valve
 - Satellite Dish
 - Storm Drain Manhole
 - Street Light
 - Utility Box
 - Vent



SEE SHEET LS-2 AND LS-3 FOR SITE DETAILS





**C.R. CARNEY
ARCHITECTS**

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PREPARED BY:

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714 557-1568 FAX

JN. 728.245

APPLICANT



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Irvine, California 92618
(949) 286-7000

SITE INFORMATION

Bridgeport

Marketplace
24015 Newhall Ranch Road
Santa Clarita, California 91354

APPROVALS

DEPARTMENT	INITIALS	DATE
LANDLORD:		
ZONING:		
VZW SITE ACQ:		
VZW RF:		
VZW INTERCONNECT:		
VZW UTILITY COORD:		
VZW CONST. MGR:		
VZW PROJ. MGR:		

REVISIONS

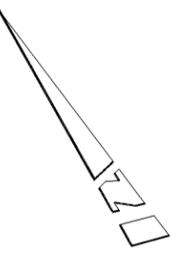
△	Description	Date
1	ISSUED FOR REVIEW (RF)	09/19/13
2	ADDED TITLE INFO. (JA)	10/01/13

Job Number: JN. 728.245	Drawn By: RF
Scale: 1" = 10'	Checked By: CWW

SHEET TITLE

TOPOGRAPHIC SURVEY

LS-3

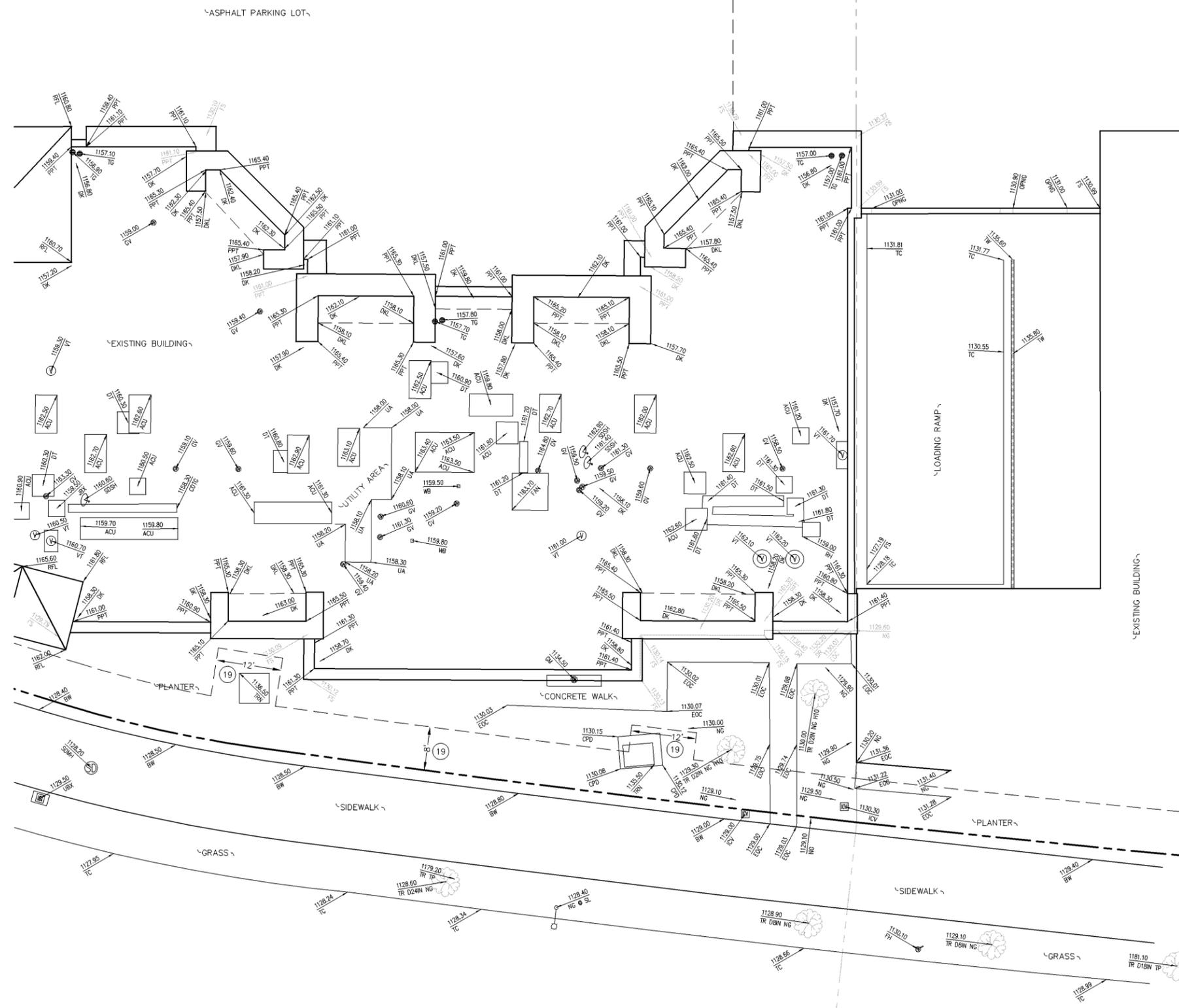


SCALE: 1" = 10'



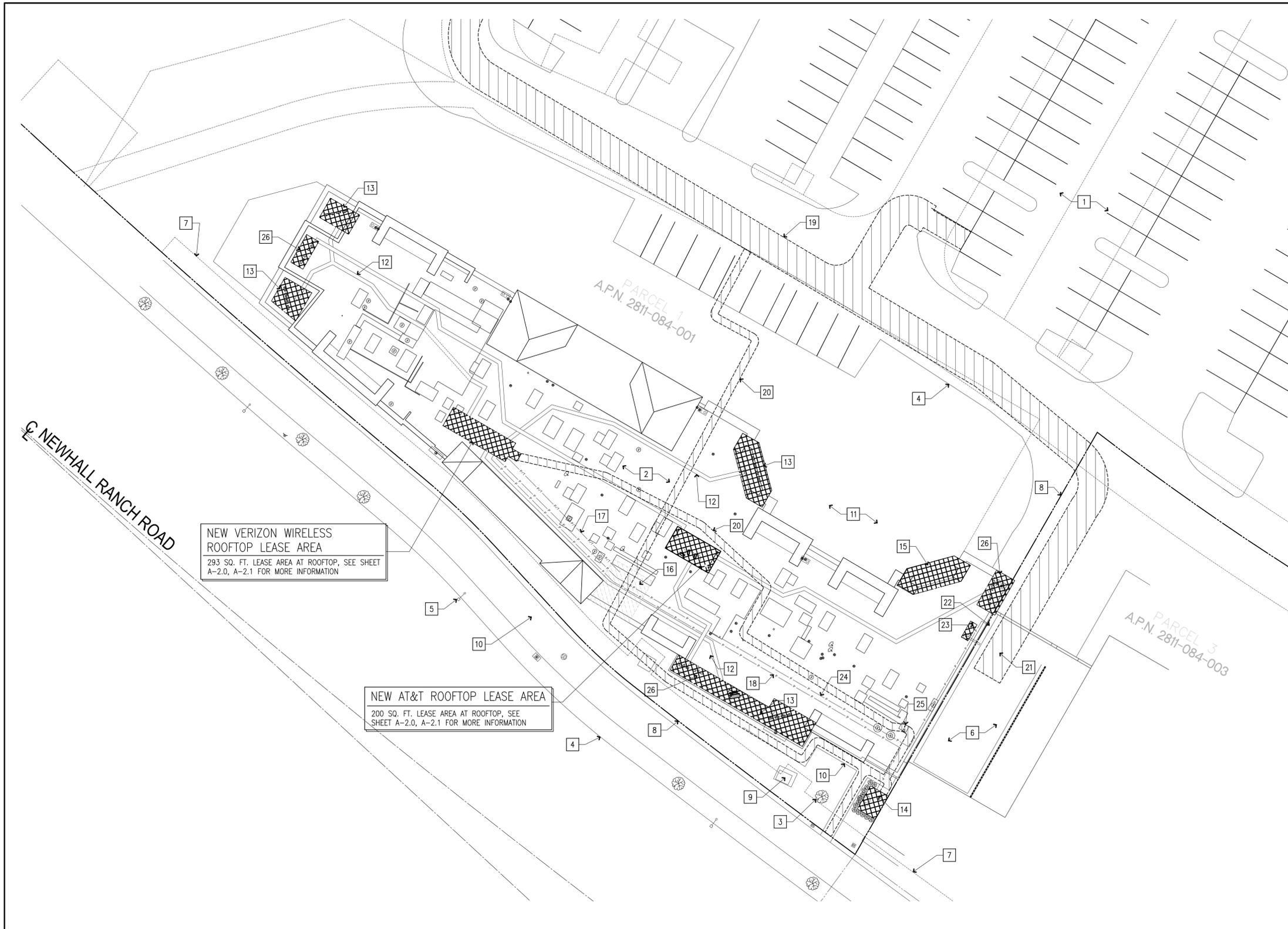
LEGEND:

- ACU AIR CONDITIONING UNIT
- BW BACK OF WALK
- CDT CONDUIT
- CDTG CONDUIT GROUP
- CPD CONCRETE PAD
- D DIAMETER
- DK DECK
- DKL DECK LINE
- DR DOOR
- DUCT DUCT
- EOC EDGE OF CONCRETE
- FD FOUND
- FH FIRE HYDRANT
- FS FINISHED SURFACE
- GM GAS METER
- GV GAS VENT
- H HEIGHT
- ICV IRRIGATION CONTROL VALVE
- IN INCHES
- JBX JUNCTION BOX
- L/T LEAD AND TACK
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- PARPET PARAPET
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- SDMH STORM DRAIN MANHOLE
- SDSH SATELLITE DISH
- SL STREET LIGHT
- TG TOP OF CURB
- TG TOP OF GRATE
- TP TOP
- TR TREE
- TRN TRANSFORMER
- TW TOP OF WALL
- UA UTILITY AREA
- UBX UTILITY BOX
- VT VENT
- WB WATER BIB
- ▨ BLOCK WALL
- ⊕ CENTERLINE
- ⊕ FIRE HYDRANT
- ⊕ FOUND MONUMENT
- ⊕ GAS METER
- ⊕ GAS VENT
- ▣ GRATE
- ⊕ IRRIGATION CONTROL VALVE
- ⊕ SATELLITE DISH
- ⊕ STORM DRAIN MANHOLE
- ⊕ STREET LIGHT
- ⊕ UTILITY BOX
- ⊕ VENT



SEE SHEET LS-1 FOR BOUNDARY AND TITLE INFO.
SEE SHEET LS-2 FOR SITE DETAILS





- KEY NOTES:**
- EXISTING PARKING LOT
 - EXISTING BUILDING ROOFTOP
 - EXISTING TREE, TYP.
 - EXISTING CURB
 - EXISTING STREET LIGHT, TYP.
 - EXISTING LOADING DOCK
 - EXISTING EASEMENT, SEE TOPOGRAPHIC SURVEY.
 - EXISTING PROPERTY LINE
 - EXISTING TRANSFORMER
 - EXISTING SIDEWALK
 - EXISTING PLAZA
 - NEW VERIZON WIRELESS COAX CABLE TRAY @ ROOFTOP
 - NEW VERIZON WIRELESS ANTENNA LOCATIONS ON ROOFTOP, SEE ENLARGED PLANS
 - NEW VERIZON WIRELESS GENERATOR SPLIT FACE CMU ENCLOSURE AT GRADE WITH 8' HIGH CMU WALLS
 - NEW ARCHITECTURAL FEATURE, SEE SHEET A-2.0
 - EXISTING ELECTRICAL ROOM AT FIRST FLOOR, NEW VERIZON WIRELESS SOURCE OF POWER AND TELCO
 - NEW VERIZON WIRELESS POWER & TELCO RUN TO LEASE AREA FROM SWITCH GEAR ROOM AT FIRST FLOOR
 - NEW VERIZON WIRELESS POWER RUN TO LEASE AREA FROM GENERATOR ENCLOSURE AT GRADE, APPROX. LENGTH 260 FT.
 - NEW 12'-0" WIDE NON-EXCLUSIVE VEHICULAR PATH OF ACCESS FROM RIGHT OF WAY TO NON-EXCLUSIVE SERVICE PARKING STALL AND TEMPORARY VERIZON GENERATOR PARKING LOCATION
 - NEW 3'-0" WIDE NON-EXCLUSIVE PEDESTRIAN PATH OF ACCESS FROM PARKING STALL TO LEASE AREA AT ROOF AND VERIZON GENERATOR AT GRADE THRU BUILDING MAIN ENTRANCE
 - NEW TEMPORARY VERIZON GENERATOR PARKING LOCATION
 - NEW VERIZON WIRELESS EMERGENCY GENERATOR APPLETON PLUG, MOUNT TO WALL AT LOADING DOCK
 - NEW VERIZON WIRELESS DAVIT CRANE AT ROOFTOP, FINAL LOCATION TO BE DETERMINED BY STRUCTURAL
 - NEW VERIZON WIRELESS POWER RUN TO LEASE AREA FROM APPLETON PLUG AT LOADING DOCK, APPROX. LENGTH 300 FT.
 - EXISTING ROOF SCUTTLE, PROVIDE VERIZON WIRELESS ACCESS PROVISIONS
 - NEW AT&T ANTENNA LOCATIONS ON ROOFTOP, SEE ENLARGED PLANS

NEW VERIZON WIRELESS ROOFTOP LEASE AREA
 293 SQ. FT. LEASE AREA AT ROOFTOP, SEE SHEET A-2.0, A-2.1 FOR MORE INFORMATION

NEW AT&T ROOFTOP LEASE AREA
 200 SQ. FT. LEASE AREA AT ROOFTOP, SEE SHEET A-2.0, A-2.1 FOR MORE INFORMATION

ENLARGED SITE PLAN

SCALE: 1" = 20'-0"
 NORTH
 0 5' 10' 20' 1

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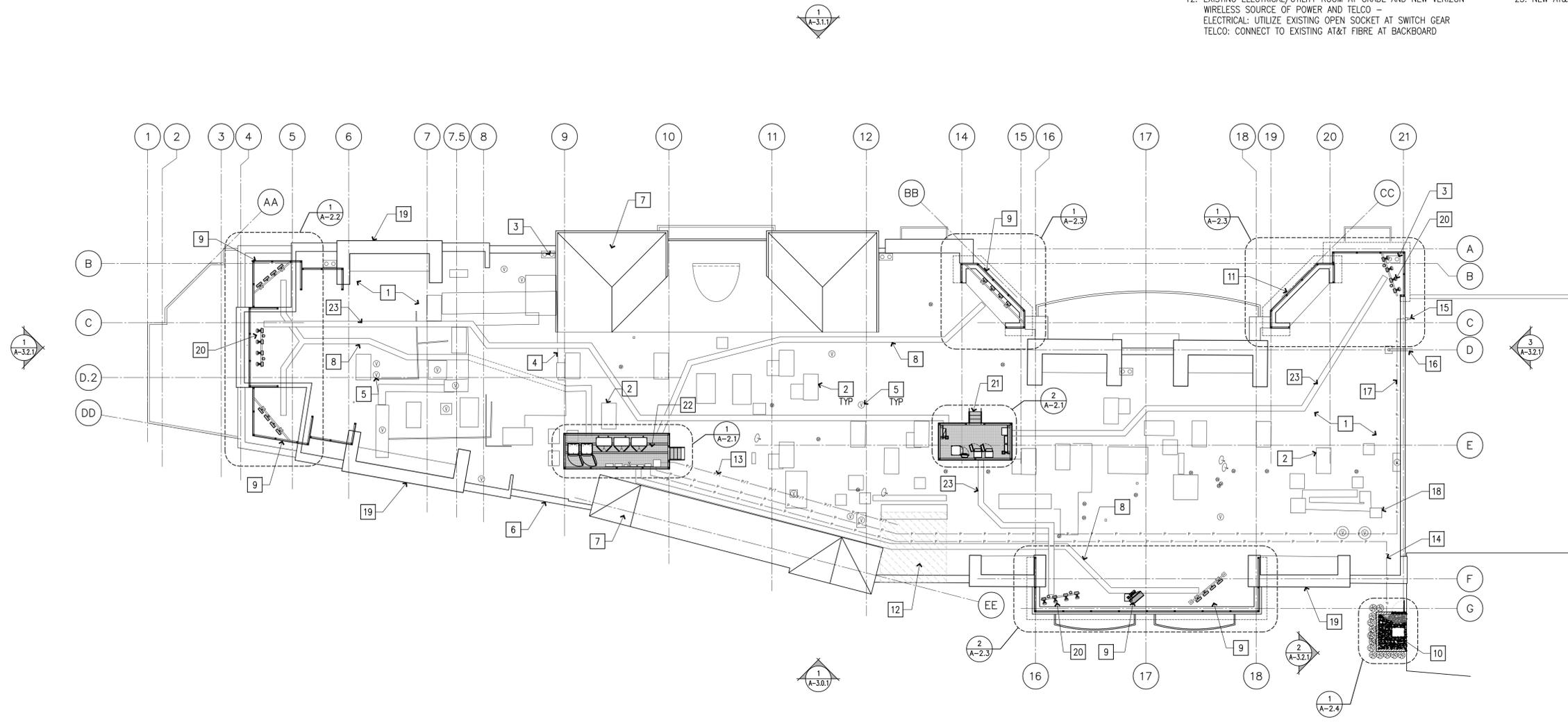
NO.	DATE	REVISIONS	BY	CHK	APP'D
2	05/30/14	INCORPORATED PLANNING DEPT. COMMENTS	FV	BOK	DKD
1	04/17/14	COMBINED AT&T AND VERIZON ZD'S	FV	BOK	DKD
0	11/26/13	ISSUED FOR ZONING PERMIT (100% ZD)	FV	BOK	DKD
A	10/22/13	ISSUED FOR ZD REVIEW AND COMMENT (90% ZD)	FV	BOK	DKD

SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE: **ENLARGED SITE PLAN**
 SHEET NUMBER: **A-1.1**

KEY NOTES:

1. EXISTING BUILDING ROOFTOP
2. EXISTING MECHANICAL UNIT
3. EXISTING ROOF DRAIN
4. EXISTING MECHANICAL EQUIPMENT/DUCTWORK
5. EXISTING VENT
6. EXISTING PARAPET
7. EXISTING SLOPED ROOF WITH TILE
8. NEW VERIZON WIRELESS COAX CABLE TRAY AT ROOFTOP
9. NEW VERIZON WIRELESS ANTENNA LOCATIONS ON ROOFTOP
10. NEW VERIZON WIRELESS GENERATOR ENCLOSURE AT GRADE WITH 8' HIGH SPLIT FACE CMU WALLS
11. EXISTING ARCHITECTURAL FEATURE, EXTEND AS REQUIRED TO MATCH EXTENSION AT OPPOSITE FEATURE
12. EXISTING ELECTRICAL/UTILITY ROOM AT GRADE AND NEW VERIZON WIRELESS SOURCE OF POWER AND TELCO - ELECTRICAL: UTILIZE EXISTING OPEN SOCKET AT SWITCH GEAR TELCO: CONNECT TO EXISTING AT&T FIBRE AT BACKBOARD
13. NEW VERIZON WIRELESS POWER & TELCO RUN TO LEASE AREA FROM SWITCH GEAR ROOM AT FIRST FLOOR
14. NEW VERIZON WIRELESS POWER RUN TO LEASE AREA FROM GENERATOR ENCLOSURE AT GRADE
15. NEW VERIZON WIRELESS EMERGENCY GENERATOR APPLETON PLUG, MOUNT TO WALL AT LOADING DOCK
16. NEW VERIZON WIRELESS DAVIT CRANE
17. NEW VERIZON WIRELESS POWER RUN TO LEASE AREA FROM APPLETON PLUG AT LOADING DOCK
18. EXISTING ROOF SCUTTLE, PROVIDE VERIZON WIRELESS ACCESS PROVISIONS
19. EXISTING RAISED PARAPET/ARCHITECTURAL FEATURE
20. NEW AT&T ANTENNA LOCATIONS ON ROOFTOP
21. NEW AT&T EQUIPMENT PLATFORM ON ROOFTOP
22. NEW VERIZON EQUIPMENT PLATFORM ON ROOFTOP
23. NEW AT&T ROOF MOUNTED CABLE TRAY



ROOF PLAN

SCALE: 1/16" = 1'-0" 0 5' 10' 16' 1

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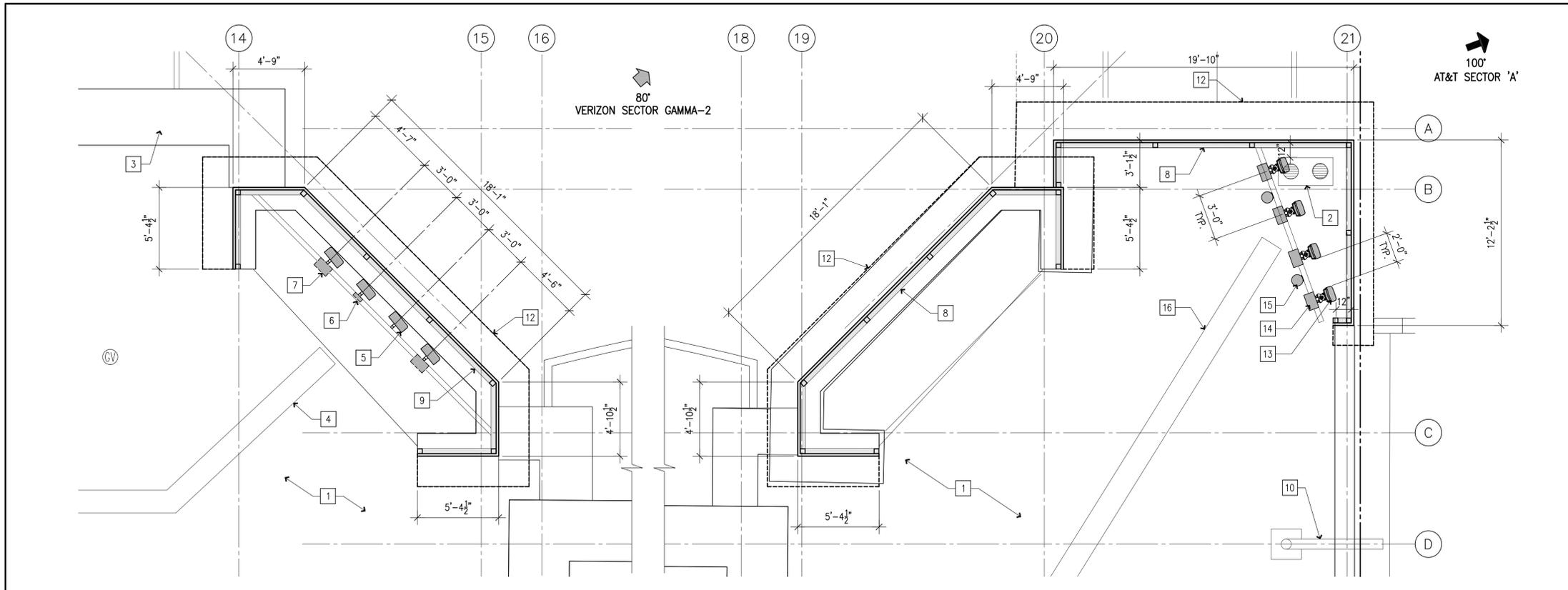
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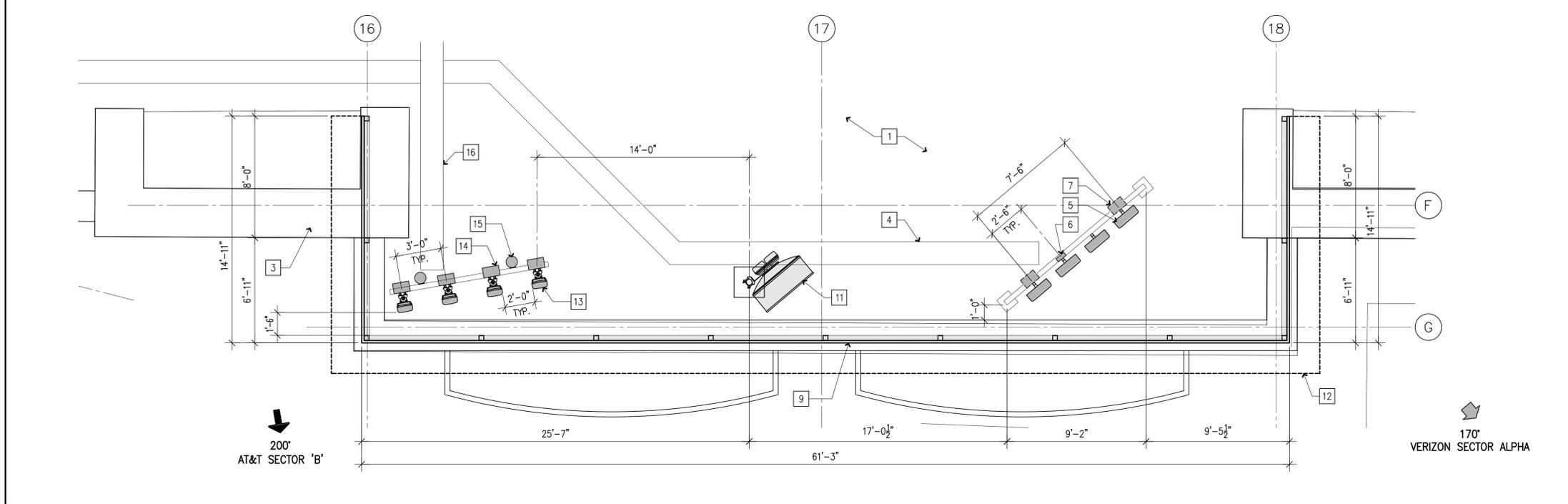
SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE: **ROOF PLAN** SHEET NUMBER: **A-2.0**



- KEY NOTES:**
- EXISTING BUILDING ROOFTOP
 - EXISTING ROOF DRAIN
 - EXISTING PARAPET
 - NEW VERIZON WIRELESS COAX CABLE TRAY
 - NEW VERIZON WIRELESS ANTENNA BEHIND NEW SCREEN
 - NEW VERIZON WIRELESS T.M.A., MOUNT BEHIND PANEL ANTENNA, TYP. OF 1 PER SECTOR, 4 TOTAL
 - NEW VERIZON WIRELESS R.R.U., MOUNT BEHIND PANEL ANTENNA OR PARAPET, TYP. OF 2 PER SECTOR, 8 TOTAL
 - EXTENDED EXISTING ARCHITECTURAL FEATURE AS REQUIRED TO MATCH EXTENSION OF OPPOSITE FEATURE, SEE ELEVATIONS
 - NEW FRP ANTENNA SCREEN, FINISH TO MATCH EXIST. BLDG.
 - NEW VERIZON WIRELESS DAVIT CRANE
 - NEW VERIZON WIRELESS 4' DIA. MICROWAVE DISH, FINAL AZIMUTH T.B.D.
 - EDGE OF CORNICE AT TOP OF NEW SCREEN/ARCHITECTURAL FEATURE EXTENSION
 - NEW AT&T AIR ANTENNA BEHIND NEW SCREEN, TYP. OF 4 PER SECTOR, 12 TOTAL
 - NEW AT&T R.R.U. BEHIND ANTENNA, TYP. OF 8 PER SECTOR, 24 TOTAL
 - NEW AT&T DC SURGE SUPPRESSOR BEHIND ANTENNA, TYP. OF 2 PER SECTOR, 6 TOTAL
 - NEW AT&T ROOF MOUNTED CABLE TRAY

ANTENNA PLAN SCALE: 1/4" = 1'-0" 0 1' 2' 4' **1**



- KEY NOTES**

ANTENNA PLAN SCALE: 1/4" = 1'-0" 0 1' 2' 4' **2**

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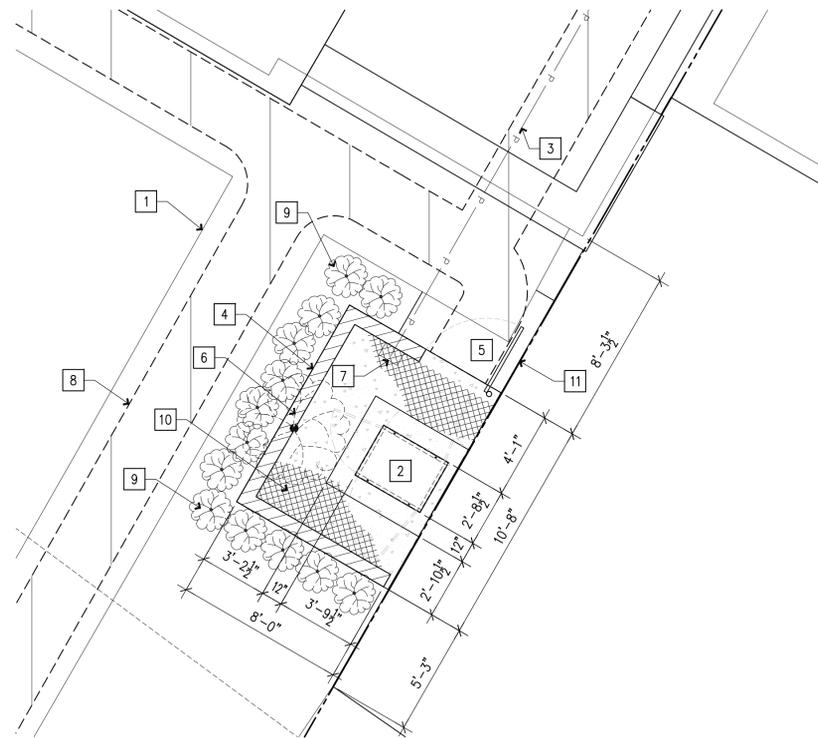
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A	10/22/13	ISSUED FOR ZD REVIEW AND COMMENT (90% ZD)	FV	BOK	DKD

SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE	SHEET NUMBER
ANTENNA PLANS	A-2.3

KEY NOTES:

1. EXISTING SIDEWALK
2. NEW VERIZON WIRELESS PERMANENT EMERGENCY GENERATOR MOUNTED TO CONCRETE PLINTH
 -10 KW, 48 V DC, DIESEL GENERATOR
 -55 GALLON MAX. DIESEL FUEL TANK
 -MANUFACTURER: POLAR POWER INC.
 -MODEL: 82201-3CA1-02262
 -WEIGHT: ~ 1,850 LBS.
 -ACOUSTICAL LEVEL: 60-64 dBA @ 23 FT. (PER MANUF.)
3. NEW VERIZON POWER RUN FROM GENERATOR TO LEASE AREA AT ROOF
4. NEW SPLIT FACE CMU SCREEN WALL AT GRADE, FINISH TO MATCH EXISTING
5. NEW 3680 GATE, STEEL FRAME WITH CORRUGATED METAL PANEL, PAINT TO MATCH WALL
6. EXISTING TREE TO BE REMOVED
7. NEW VERIZON WIRELESS WALL MOUNTED DISCONNECT SWITCH
8. NEW 3'-0" WIDE NON-EXCLUSIVE PEDESTRIAN PATH OF ACCESS FROM PARKING STALL TO LEASE AREA AT ROOF AND VERIZON GENERATOR AT GRADE THRU BUILDING MAIN ENTRANCE
9. NEW PLANTING, ENSURE PLANING IS COMPATIBLE WITH EXISTING SHRUBS
10. OVERHEAD SECURITY MESH LID
11. OUTLINE OF EXISTING BUILDING



GENERATOR PLAN

SCALE: 1/4" = 1'-0" 0 1' 2' 4' 1

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SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE: **GENERATOR PLAN (VERIZON)**
SHEET NUMBER: **A-2.4**



EXISTING SOUTH ELEVATION

SCALE: 1/16" = 1'-0" 0 5' 10' 16' **1**

KEY NOTES:

- 1. EXISTING BUILDING PARAPET WALL
- 2. EXISTING BUILDING PARAPET WALL, BEYOND



ENLARGED EXISTING SOUTH ELEVATION

SCALE: 1/8" = 1'-0" 0 2' 4' 8' **2**

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SCALE AS SHOWN DESIGNED DRAWN																																					



SOUTH ELEVATION

SCALE: 1/16" = 1'-0" 0 5' 10' 16' **1**

KEY NOTES:

- 1. EXISTING BUILDING PARAPET WALL
- 2. NEW ANTENNA/EQUIPMENT SCREEN, PAINT, TEXTURE, AND TRIM TO MATCH EXIST. BUILDING
- 3. NEW VERIZON WIRELESS U.L. LISTED RADIO EQUIPMENT CABINETS BEHIND SCREEN WALL
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- 11. EXISTING BUILDING PARAPET WALL, BEYOND



ENLARGED SOUTH ELEVATION

SCALE: 1/8" = 1'-0" 0 2' 4' 8' **2**

<p>DCI PACIFIC A E C WORKS</p> <p>ARCHITECTURE ENGINEERING CONSULTING 32 EXECUTIVE PARK SUITE 110 IRVINE CA 92614 T 949.475.1000 949.475.1001 F</p>	<p>VeloTera SERVICES, Inc.</p> <p>7431 LAMPSON AVENUE GARDEN GROVE, CA 92841</p>	<p>NL0448.2 MCBEAN-BRIDGEPORT</p> <p>24015 & 24025 NEWHALL RANCH ROAD SANTA CLARITA, CA 91355</p>	<p>12900 PARK PLAZA DRIVE CERRITOS, CA 90703</p>	<p>15505 Sand Canyon Avenue Building D, 1st Floor Irvine, California 92618 (949) 286-7000</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>REVISIONS</th> <th>BY</th> <th>CHK</th> <th>APP'D</th> </tr> <tr> <td>2</td> <td>05/30/14</td> <td>INCORPORATED PLANNING DEPT. COMMENTS</td> <td>FV</td> <td>BOK</td> <td>DKD</td> </tr> <tr> <td>1</td> <td>04/17/14</td> <td>COMBINED AT&T AND VERIZON ZD'S</td> <td>FV</td> <td>BOK</td> <td>DKD</td> </tr> <tr> <td>0</td> <td>11/26/13</td> <td>ISSUED FOR ZONING PERMIT (100% ZD)</td> <td>FV</td> <td>BOK</td> <td>DKD</td> </tr> <tr> <td>A</td> <td>10/22/13</td> <td>ISSUED FOR ZD REVIEW AND COMMENT (90% ZD)</td> <td>FV</td> <td>BOK</td> <td>DKD</td> </tr> </table> <p>SCALE AS SHOWN DESIGNED DRAWN</p>	NO.	DATE	REVISIONS	BY	CHK	APP'D	2	05/30/14	INCORPORATED PLANNING DEPT. COMMENTS	FV	BOK	DKD	1	04/17/14	COMBINED AT&T AND VERIZON ZD'S	FV	BOK	DKD	0	11/26/13	ISSUED FOR ZONING PERMIT (100% ZD)	FV	BOK	DKD	A	10/22/13	ISSUED FOR ZD REVIEW AND COMMENT (90% ZD)	FV	BOK	DKD	<p>SHEET TITLE</p> <p style="text-align: center;">ELEVATIONS (COMBINED)</p>	<p>SHEET NUMBER</p> <p style="text-align: center;">A-3.0.1</p>
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INDICATES AREA OF PROPOSED WORK

SOUTH ELEVATION

SCALE: 1/16" = 1'-0" 0 5' 10' 16' 1

KEY NOTES:

- 1. EXISTING BUILDING PARAPET WALL
- 2. NEW ANTENNA/EQUIPMENT SCREEN, PAINT, TEXTURE, AND TRIM TO MATCH EXIST. BUILDING
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ENLARGED SOUTH ELEVATION

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INDICATES AREA OF PROPOSED WORK

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EXISTING NORTH ELEVATION

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ENLARGED EXISTING NORTH ELEVATION

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A|E|C WORKS

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T 949.475.1000 | 949.475.1001 F

VeloTera
SERVICES, Inc.

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GARDEN GROVE, CA 92841

NL0448.2
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at&t
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SHEET TITLE SHEET NUMBER

EXISTING ELEVATIONS

A-3.1



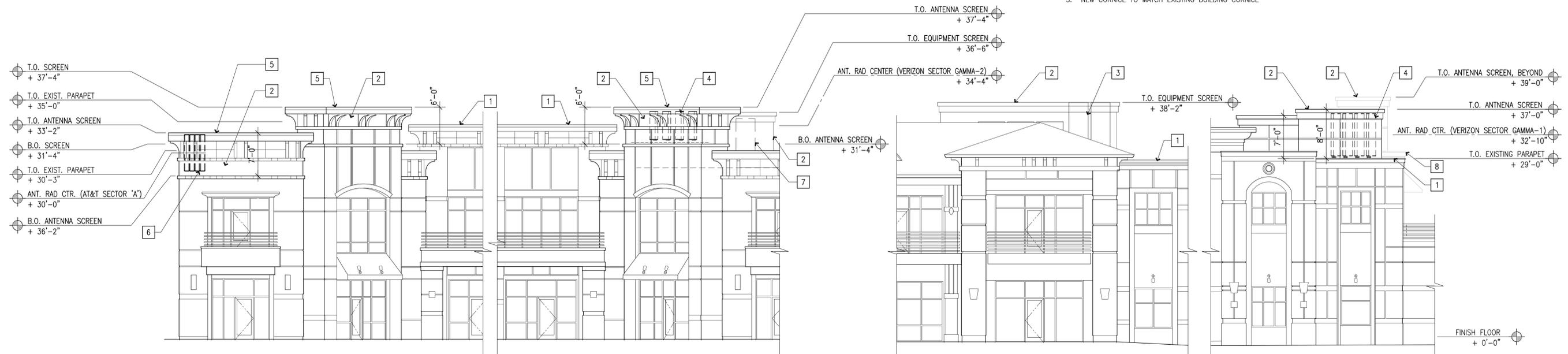
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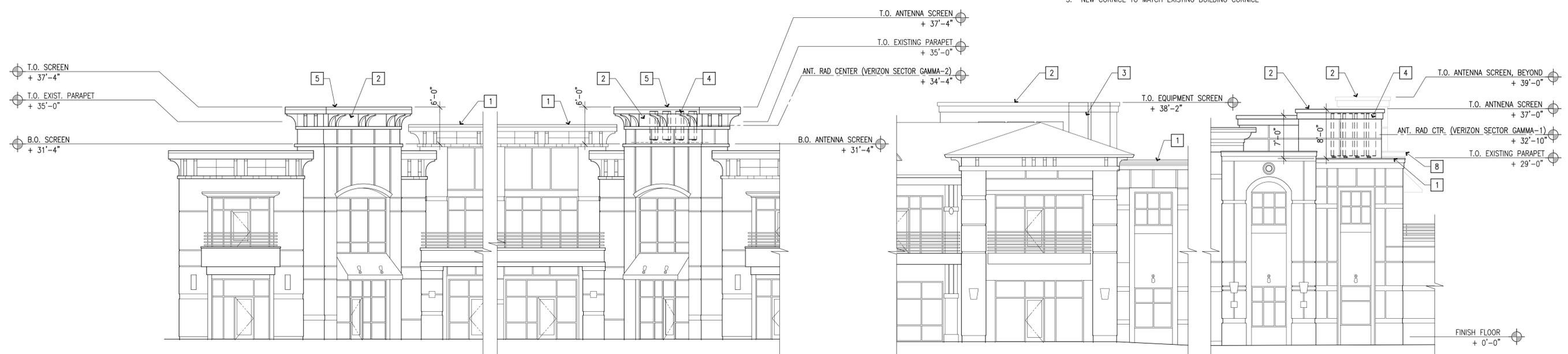
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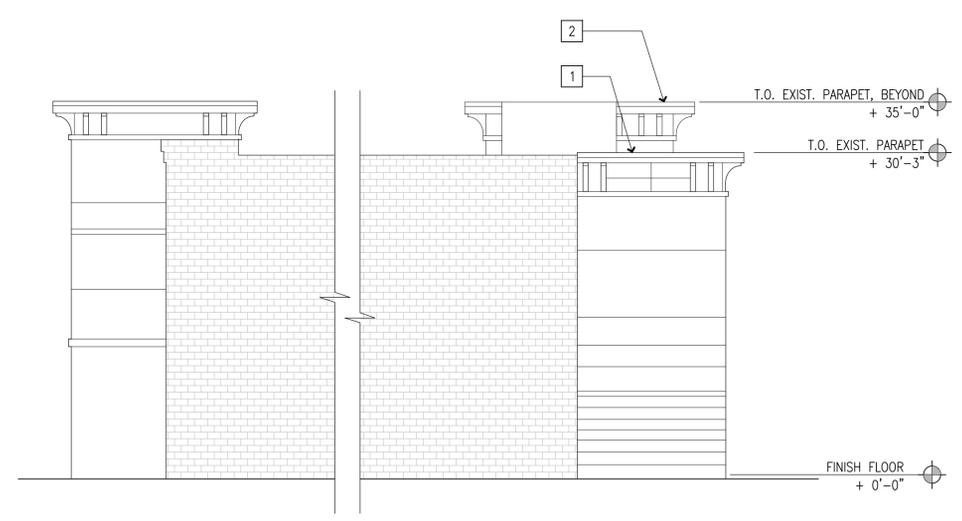
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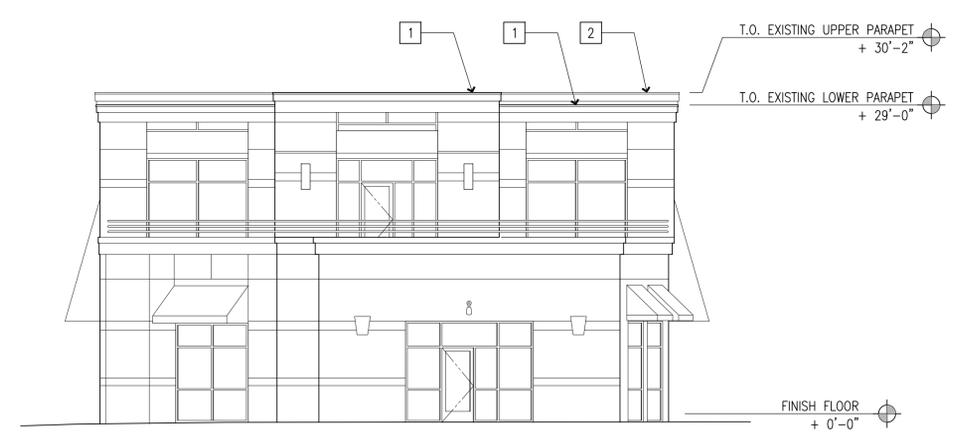
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EXISTING EAST ELEVATION

SCALE: 1/8" = 1'-0"
 0 2' 4' 8'

3



EXISTING WEST ELEVATION

SCALE: 1/8" = 1'-0"
 0 2' 4' 8'

1



EXISTING GENERATOR ENCLOSURE ELEVATION

SCALE: 1/8" = 1'-0"
 0 2' 4' 8'

2

KEYNOTES

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 ARCHITECTURE | ENGINEERING | CONSULTING
 32 EXECUTIVE PARK | SUITE 110 | IRVINE | CA 92614
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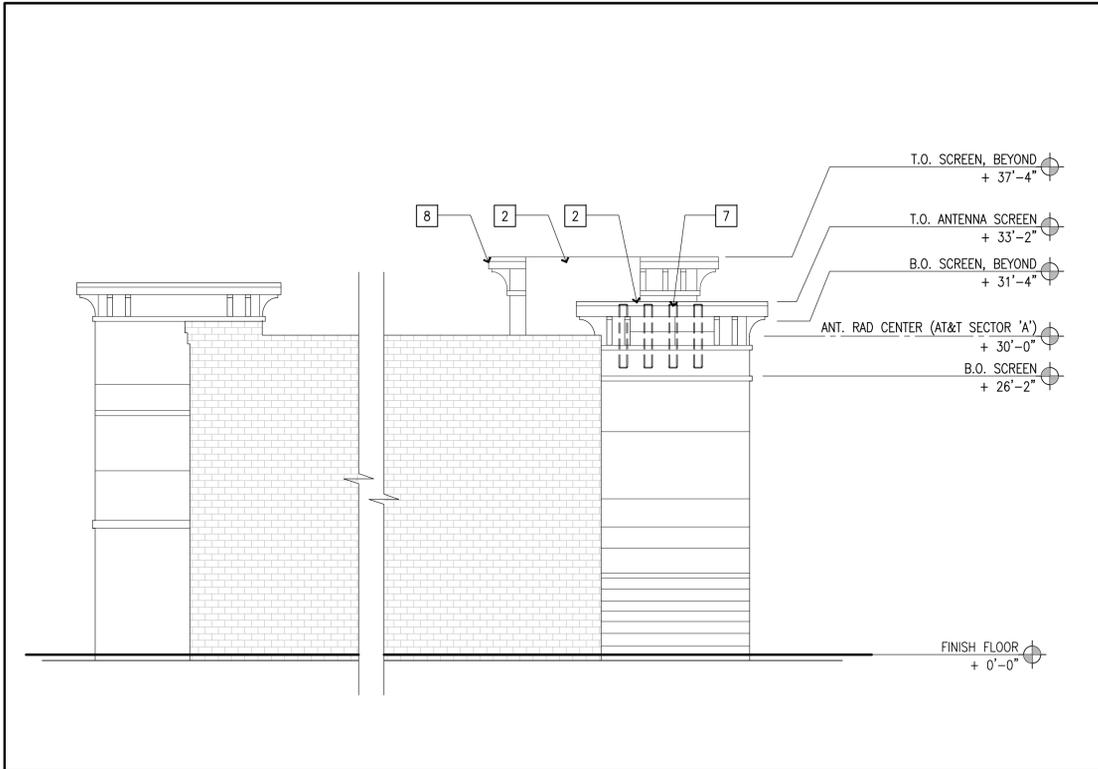
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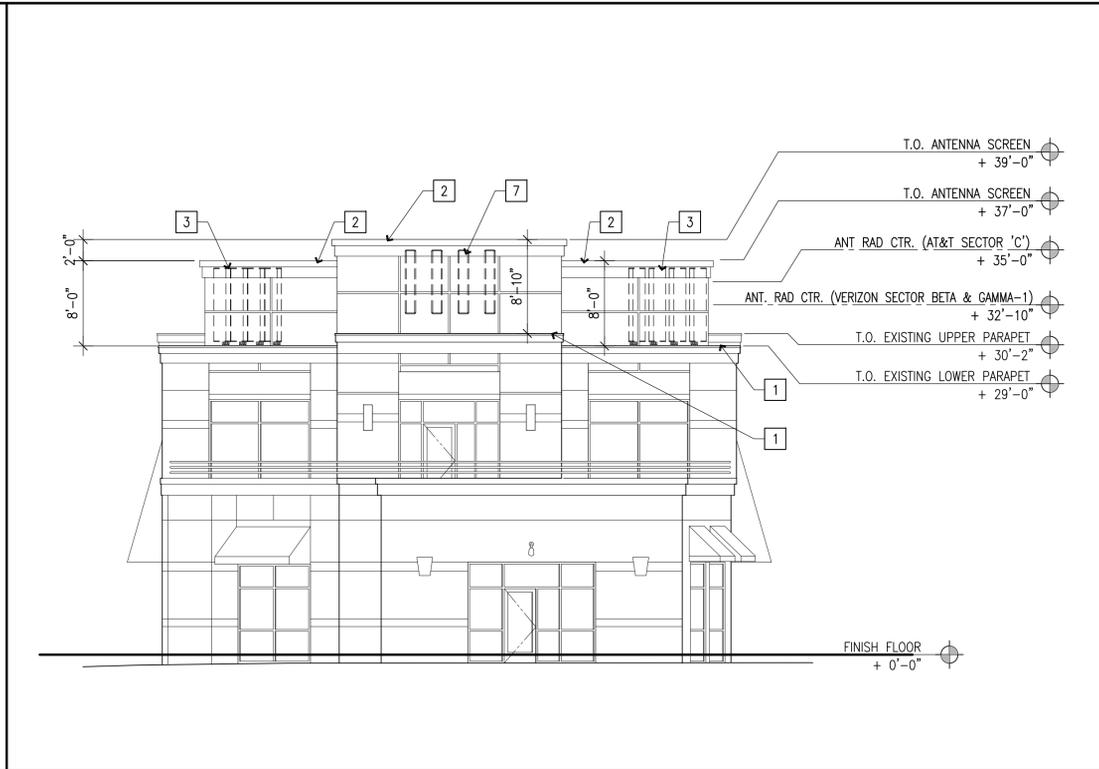


EAST ELEVATION

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0 2' 4' 8'

3



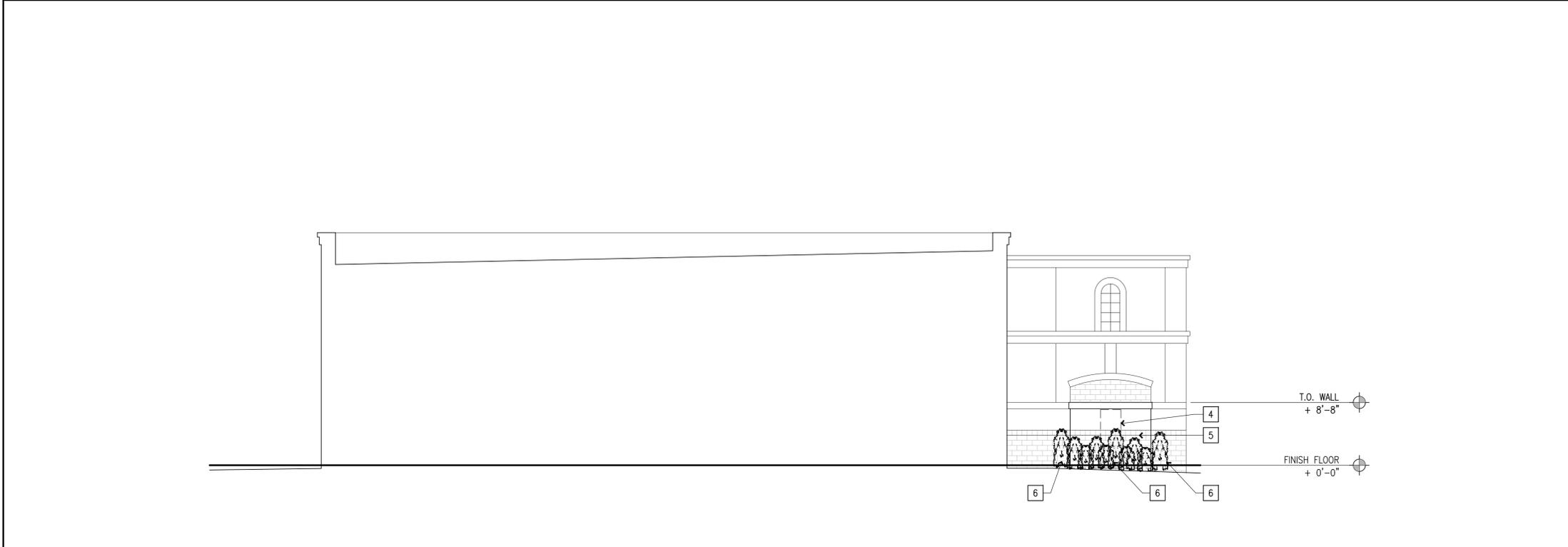
WEST ELEVATION

SCALE: 1/8" = 1'-0"

0 2' 4' 8'

1

- KEY NOTES:**
- EXISTING BUILDING PARAPET WALL
 - NEW ANTENNA SCREEN, PAINT, TEXTURE, AND TRIM TO MATCH EXISTING BUILDING
 - NEW VERIZON WIRELESS PANEL ANTENNAS BEHIND NEW SCREEN
 - NEW VERIZON WIRELESS PERMANENT GENERATOR
 - NEW SPLIT FACE CMU SCREEN WALL, FINISH TO MATCH ADJACENT WALL
 - NEW SHRUBS AT GENERATOR ENCLOSURE, LANDSCAPING TO MATCH EXISTING LANDSCAPING
 - NEW AT&T AIR 6'H. ANTENNAS BEHIND NEW SCREEN
 - NEW CORNICE TO MATCH EXISTING BUILDING CORNICE



GENERATOR ENCLOSURE ELEVATION

SCALE: 1/8" = 1'-0"

0 2' 4' 8'

2

KEYNOTES

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NL0448.2
MCBEAN-BRIDGEPORT

24015 & 24025 NEWHALL RANCH ROAD
SANTA CLARITA, CA 91355

at&t
Mobility

12900 PARK PLAZA DRIVE
CERRITOS, CA 90703

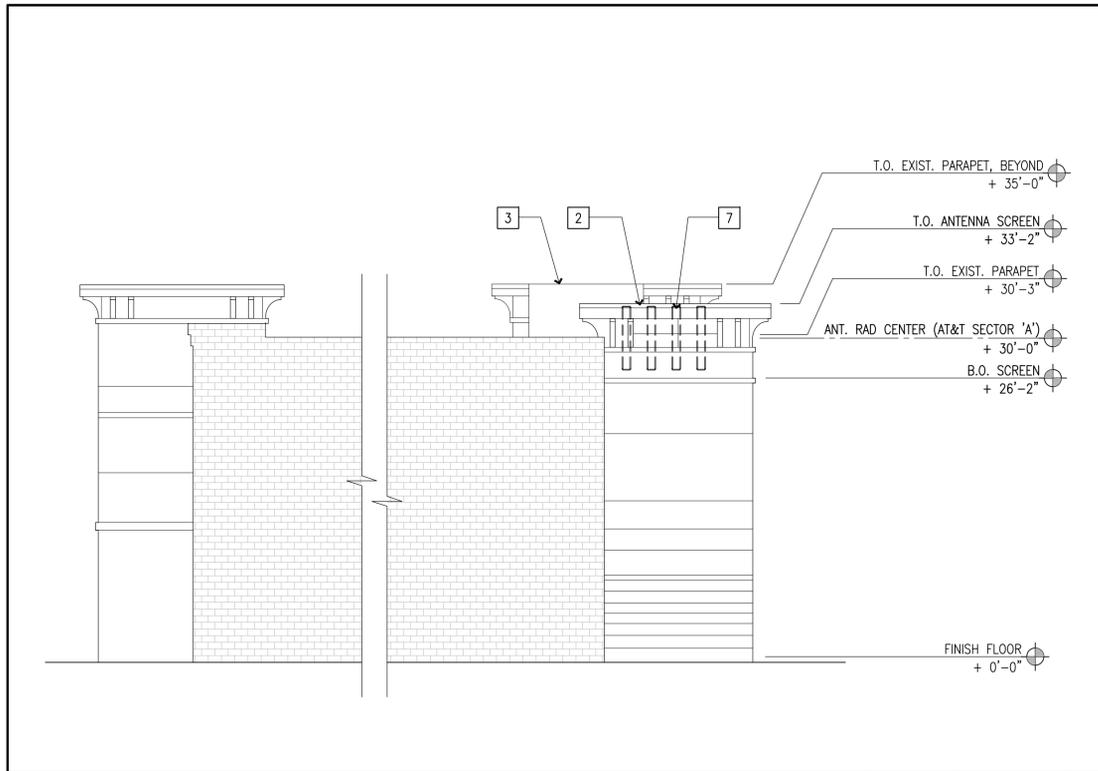
verizonwireless

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Irvine, California 92618
(949) 286-7000

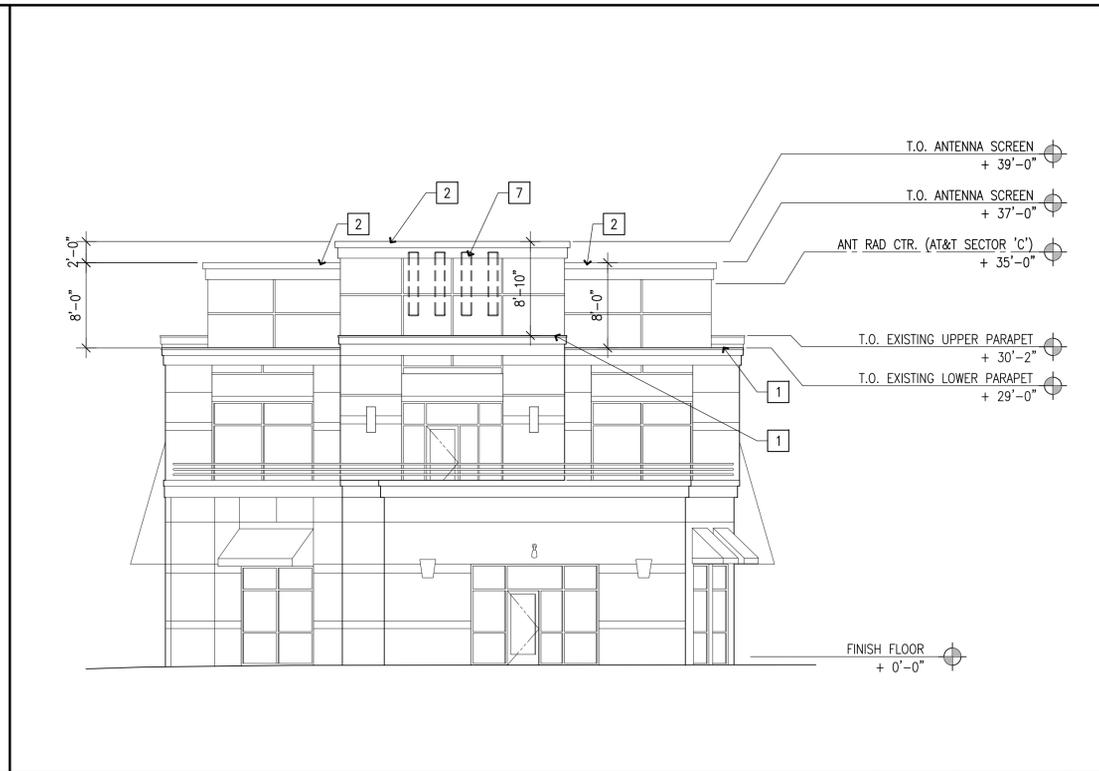
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1	04/17/14	COMBINED AT&T AND VERIZON ZD'S	FV	BOK	DKD
0	11/26/13	ISSUED FOR ZONING PERMIT (100% ZD)	FV	BOK	DKD
A	10/22/13	ISSUED FOR ZD REVIEW AND COMMENT (90% ZD)	FV	BOK	DKD

SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE	SHEET NUMBER
ELEVATIONS (COMBINED)	A-3.2.1



EAST ELEVATION SCALE: 1/8" = 1'-0" 0 2' 4' 8' **3**



WEST ELEVATION SCALE: 1/8" = 1'-0" 0 2' 4' 8' **1**

KEY NOTES:

1. EXISTING BUILDING PARAPET WALL
2. NEW ANTENNA SCREEN, PAINT, TEXTURE, AND TRIM TO MATCH EXISTING BUILDING
3. EXISTING BUILDING PARAPET WALL, BEYOND
4. -
5. -
6. NEW SHRUBS AT GENERATOR ENCLOSURE, LANDSCAPING TO MATCH EXISTING LANDSCAPING
7. NEW AT&T AIR 6'H. ANTENNAS BEHIND NEW SCREEN

NOT USED

2 KEYNOTES

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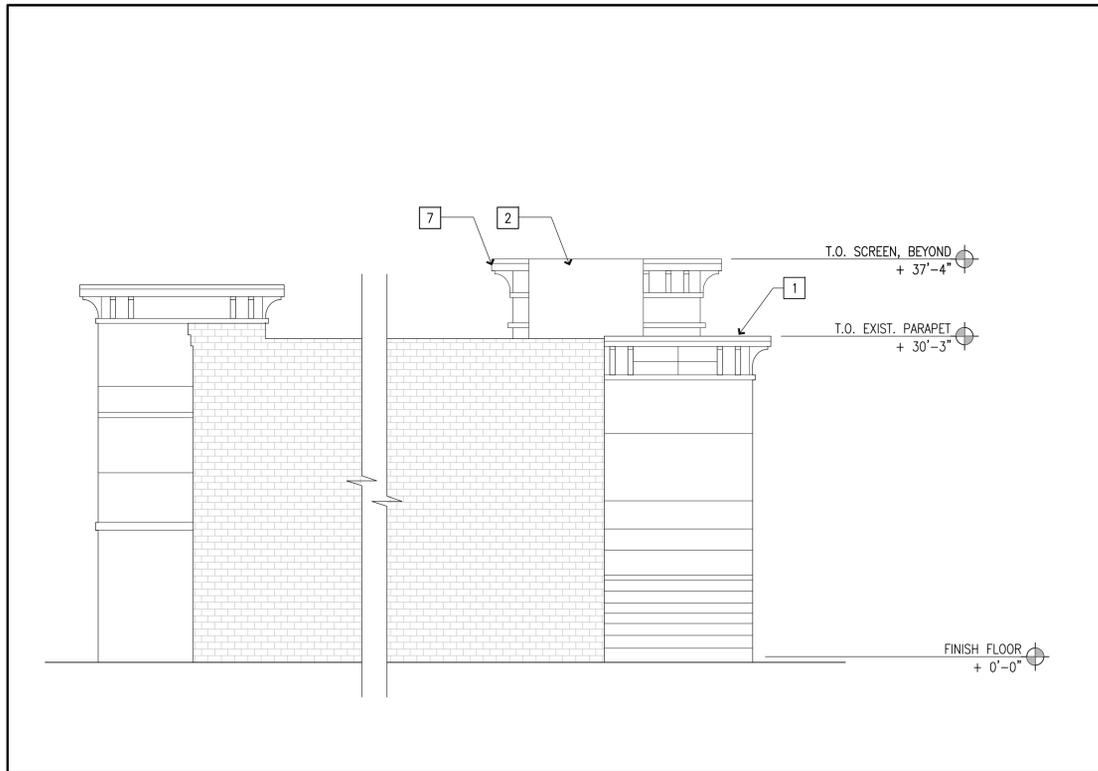
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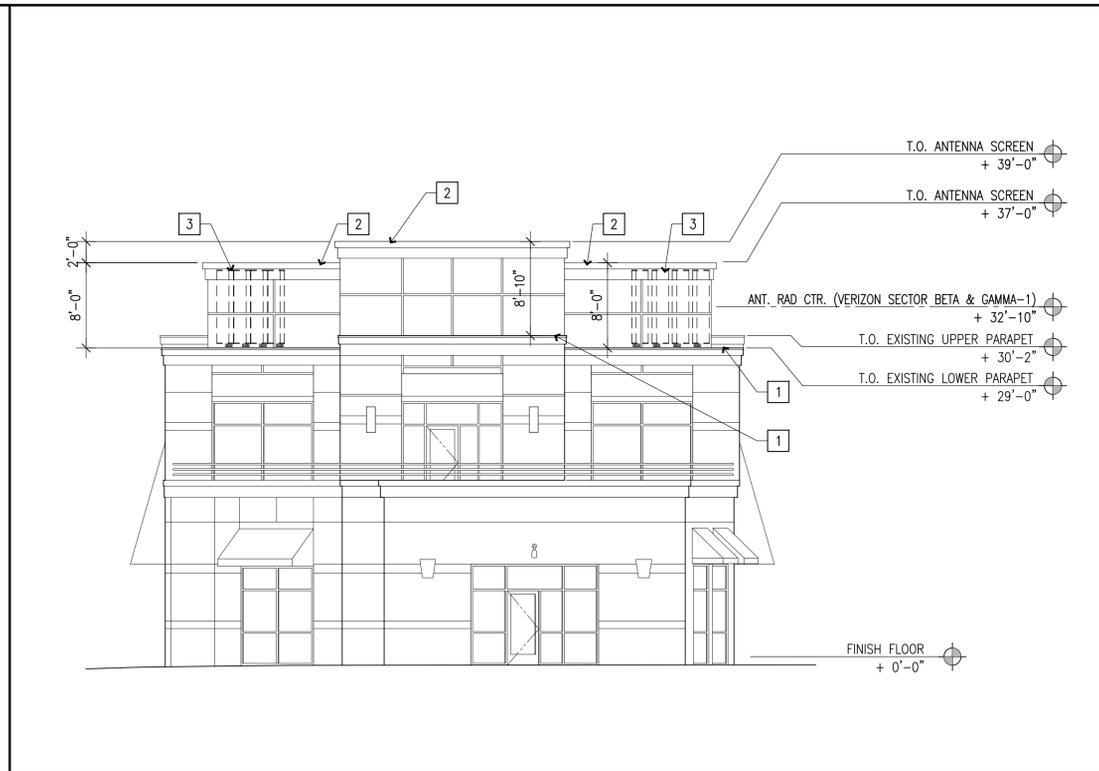
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SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE	SHEET NUMBER
ELEVATIONS (AT&T ONLY)	A-3.2.2



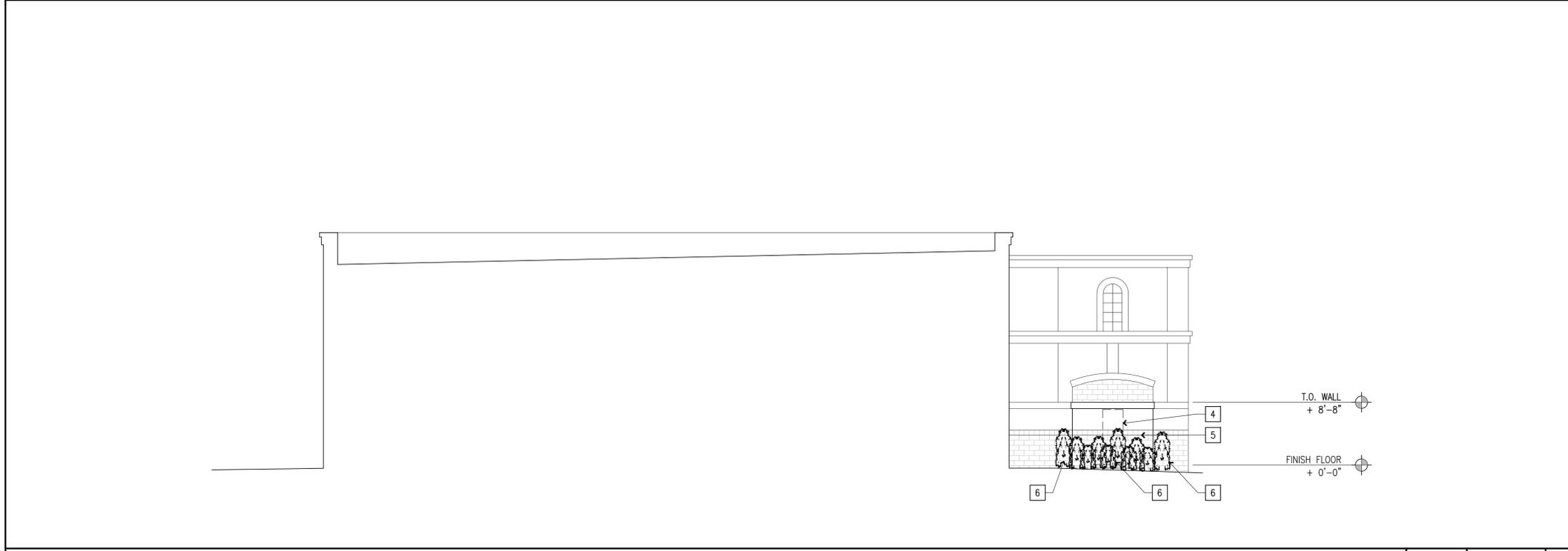
EAST ELEVATION SCALE: 1/8" = 1'-0" 0 2' 4' 8' 3



WEST ELEVATION SCALE: 1/8" = 1'-0" 0 2' 4' 8' 1

KEY NOTES:

1. EXISTING BUILDING PARAPET WALL
2. NEW ANTENNA SCREEN, PAINT, TEXTURE, AND TRIM TO MATCH EXISTING BUILDING
3. NEW VERIZON WIRELESS PANEL ANTENNAS BEHIND NEW SCREEN
4. NEW VERIZON WIRELESS PERMANENT GENERATOR
5. NEW SPLIT FACE CMU SCREEN WALL, FINISH TO MATCH ADJACENT WALL
6. NEW SHRUBS AT GENERATOR ENCLOSURE, LANDSCAPING TO MATCH EXISTING LANDSCAPING
7. NEW CORNICE TO MATCH EXISTING BUILDING CORNICE



GENERATOR ENCLOSURE ELEVATION SCALE: 1/8" = 1'-0" 0 2' 4' 8' 2

KEYNOTES

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SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE	SHEET NUMBER
ELEVATIONS (VERIZON ONLY)	A-3.2.3

REMOTE RADIO UNITS (RRU'S)							
SECTOR	RRU UP or DOWN	RRU COUNT	RRU LOCATION (DISTANCE FROM ANTENNA)	RRU MIN. CLEARANCES			
				ABOVE	BELOW	SIDES	
SECTOR "A"	A1	UP	2	<12'	18"	8"	8"
	A2	UP	2	<12'	18"	8"	8"
	A3	UP	2	<12'	18"	8"	8"
SECTOR "B"	A4	UP	2	<12'	18"	8"	8"
	B1	UP	2	<12'	18"	8"	8"
	B2	UP	2	<12'	18"	8"	8"
SECTOR "C"	B3	UP	2	<12'	18"	8"	8"
	B4	UP	2	<12'	18"	8"	8"
	C1	UP	2	<12'	18"	8"	8"
SECTOR "C"	C2	UP	2	<12'	18"	8"	8"
	C3	UP	2	<12'	18"	8"	8"
	C4	UP	2	<12'	18"	8"	8"

NOTES TO CONTRACTOR:

- CONTRACTOR IS TO REFER TO AT&T 'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFDS) PRIOR TO CONSTRUCTION.
- CABLE LENGTHS WERE DETERMINED BASED ON VISUAL INSPECTION DURING SITE-WALK. CONTRACTOR TO VERIFY ACTUAL LENGTH DURING PRE-CONSTRUCTION WALK.

PROPOSED ANTENNA AND TRANSMISSION CABLE REQUIREMENTS								
SECTOR	PROPOSED TECHNOLOGY	ANTENNA		ANTENNA AZIMUTH	RAD CENTER	TRANSMISSION LINES (LENGTH FT. +/-)		
		AIR / HEX / 8-Port	SIZE			JUMPER LENGTH	DC CABLE (AWG #8)	
SECTOR "A"	A1	LTE	AIR	6'	100	30'-0"	<12'	+/- 160'
	A2	LTE	AIR	6'	100	30'-0"	<12'	+/- 160'
	A3	UMTS	AIR	6'	100	30'-0"	<12'	+/- 160'
SECTOR "B"	A4	LTE	AIR	6'	100	30'-0"	<12'	+/- 160'
	B1	LTE	AIR	6'	200	35'-0"	<12'	+/- 70'
	B2	LTE	AIR	6'	200	35'-0"	<12'	+/- 70'
SECTOR "C"	B3	UMTS	AIR	6'	200	35'-0"	<12'	+/- 70'
	B4	LTE	AIR	6'	200	35'-0"	<12'	+/- 70'
	C1	LTE	AIR	6'	300	35'-0"	<12'	+/- 210'
SECTOR "C"	C2	LTE	AIR	6'	300	35'-0"	<12'	+/- 210'
	C3	UMTS	AIR	6'	300	35'-0"	<12'	+/- 210'
	C4	LTE	AIR	6'	300	35'-0"	<12'	+/- 210'

NOT USED

SCALE: N.T.S

5

ANTENNA & RRU EQUIPMENT TABLES (AT&T)

SCALE: N.T.S

1

NOT USED

SCALE: N.T.S

6

NOT USED

SCALE: N.T.S

2

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NO.	DATE	REVISIONS	BY	CHK	APP'D
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SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE SHEET NUMBER

**AT&T
ANTENNA & RRU
EQUIPMENT TABLES** **A-4.0**



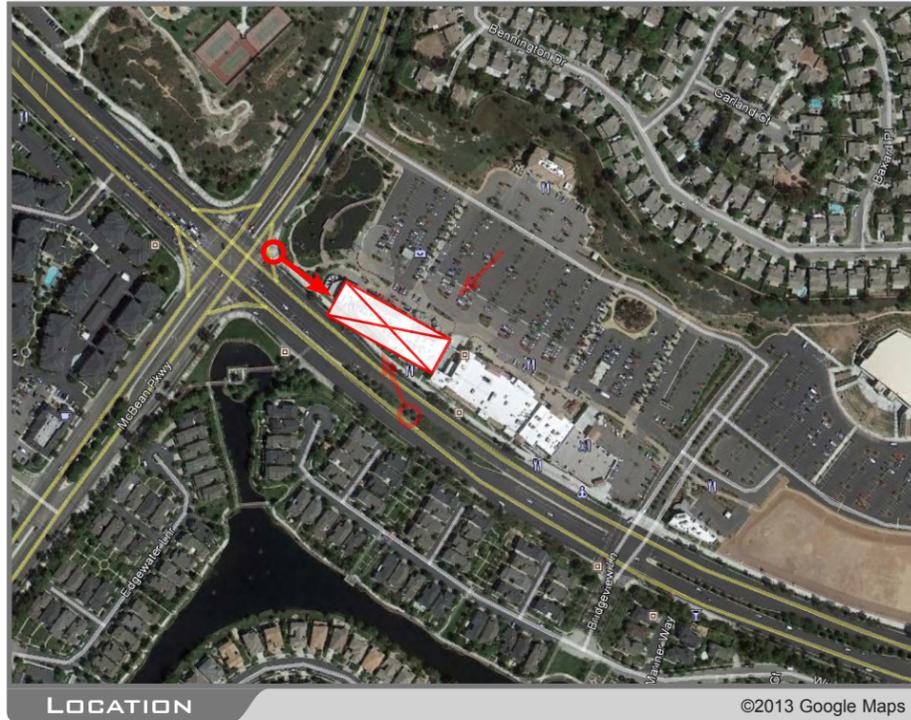
NL0448.2

MCBEAN-BRIDGEPORT

20461 NEWHALL RANCH ROAD SANTA CLARITA CA 91355



VIEW 1



LOCATION

©2013 Google Maps



EXISTING



PROPOSED

LOOKING SOUTHEAST FROM MCBEAN PARKWAY



NL0448.2

MCBEAN-BRIDGEPORT

20461 NEWHALL RANCH ROAD SANTA CLARITA CA 91355



VIEW 2



LOCATION

©2013 Google Maps



EXISTING



PROPOSED

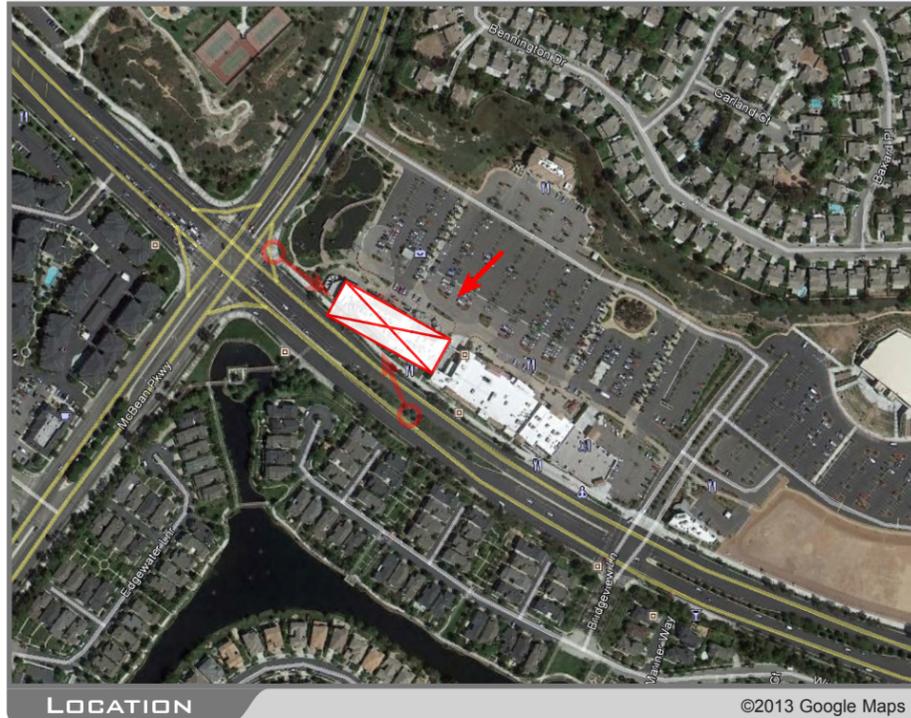
LOOKING NORTHWEST FROM NEWHALL RANCH ROAD



NL0448.2

MCBEAN-BRIDGEPORT

20461 NEWHALL RANCH ROAD SANTA CLARITA CA 91355



EXISTING



PROPOSED LOOKING SOUTHWEST FROM PARKING LOT



SOUTH ELEVATION

FINISH KEY NOTES:

- | | |
|---|---|
| 1. CEMENT PLASTER, 'GLIDDEN' A0512 NUTRIA |  |
| 2. CEMENT PLASTER, 'GLIDDEN' ICI 545 20YY 56/264 SEAHORSE |  |
| 3. CEMENT PLASTER, 'GLIDDEN' A1847 PEGAN TREE |  |
| 4. CEMENT PLASTER, 'GLIDDEN' A1805 CANVASBACK |  |
| 5. CEMENT PLASTER, 'GLIDDEN' A0764 CREMELWORK |  |
| 6. CEMENT PLASTER, 'SHERWIN WILLIAMS' SW6271 SPECIAL GRAY |  |
| 7. CEMENT PLASTER, 'DUNN EDWARDS' DE1087 DASH OF EBONY |  |
| 8. CEMENT PLASTER, 'SHERWIN WILLIAMS' SW6073 PERFECT GREIGE |  |
| 9. CORNICE BAND, 'GLIDDEN' A0764 CREMELWORK |  |
| 10. FAUX FRP STOREFRONT, COLOR MATCH WITH ADJACENT COLOR |  |
| 11. C.M.U. BURNISHED FACED CENTER SCORED, 'ORCO' GRAY |  |
| 12. C.M.U. SPLIT FACED CENTER SCORED, 'ORCO' BROWN |  |

* PROPOSED COLORS MATCH EXISTING ADJACENT COLORS. ORIGINAL PAINT MANUFACTURER IS NO LONGER IN BUSINESS BY THEIR NAME, PROPOSED COLORS ARE INTENDED TO MATCH EXISTING BUILDING.

Bridgeport

Market Place
24015 Newhall Ranch Road
Santa Clarita, CA 91354





NORTH ELEVATION

FINISH KEY NOTES:

- | | |
|---|---|
| 1. CEMENT PLASTER, 'GLIDDEN' A0512 NUTRIA |  |
| 2. CEMENT PLASTER, 'GLIDDEN' ICI 545 20YY 56/269 SEAHORSE |  |
| 3. CEMENT PLASTER, 'GLIDDEN' A1847 PECAN TREE |  |
| 4. CEMENT PLASTER, 'GLIDDEN' A1805 CANVASBACK |  |
| 5. CEMENT PLASTER, 'GLIDDEN' A0764 CREMELWORK |  |
| 6. CEMENT PLASTER, 'SHERWIN WILLIAMS' SW6277 SPECIAL GRAY |  |
| 7. CEMENT PLASTER, 'DUNN EDWARDS' DE1087 DASH OF EBONY |  |
| 8. CEMENT PLASTER, 'SHERWIN WILLIAMS' SW6073 PERFECT GREIGE |  |
| 9. CORNICE BAND, 'GLIDDEN' A0764 CREMELWORK |  |
| 10. FAUX FRP STOREFRONT, COLOR MATCH WITH ADJACENT COLOR | |
| 11. C.M.U. BURNISHED FACED CENTER SCORED, 'ORCO' GRAY |  |
| 12. C.M.U. SPLIT FACED CENTER SCORED, 'ORCO' BROWN |  |

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Bridgeport

Market Place
24015 Newhall Ranch Road
Santa Clarita, CA 91354



1



CEMENT PLASTER,
'GLIDDEN' A0512 NUTRIA

2



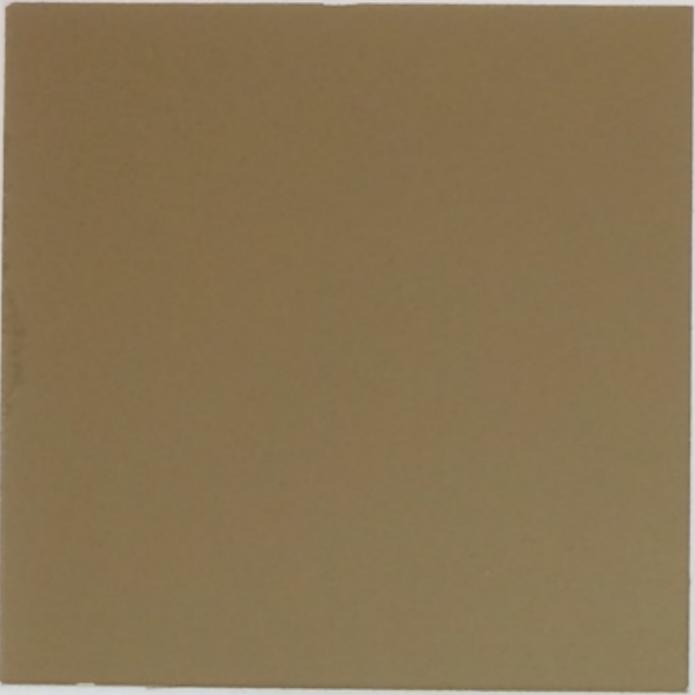
CEMENT PLASTER,
'GLIDDEN' ICI 545 20YY 56/269 SEAHORSE

3



CEMENT PLASTER,
'GLIDDEN' A1847 PECAN TREE

4



CEMENT PLASTER,
'GLIDDEN' A1805 CANVASBACK

5



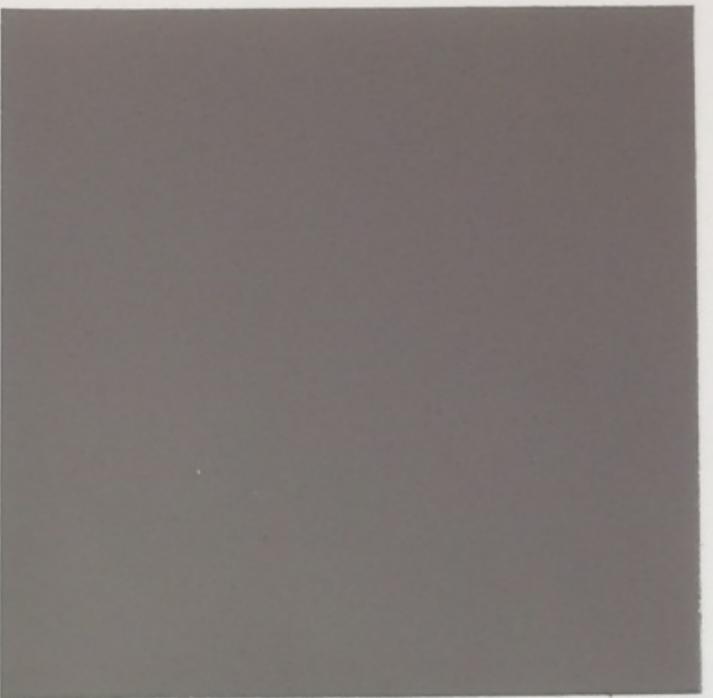
CEMENT PLASTER,
'GLIDDEN' A0764 CREMELWORK

Bridgeport

Market Place
24015 Newhall Ranch Road
Santa Clarita, CA 91354

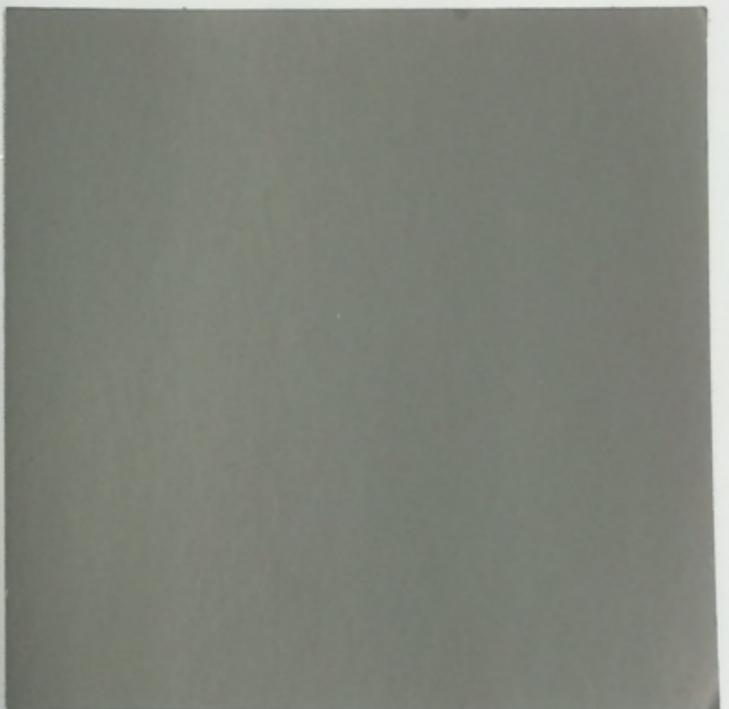


6



CEMENT PLASTER,
SHERWIN WILLIAMS' SW6211 SPECIAL GRAY

7



CEMENT PLASTER,
DUNN EDWARDS' DE1087 DASH OF EBONY

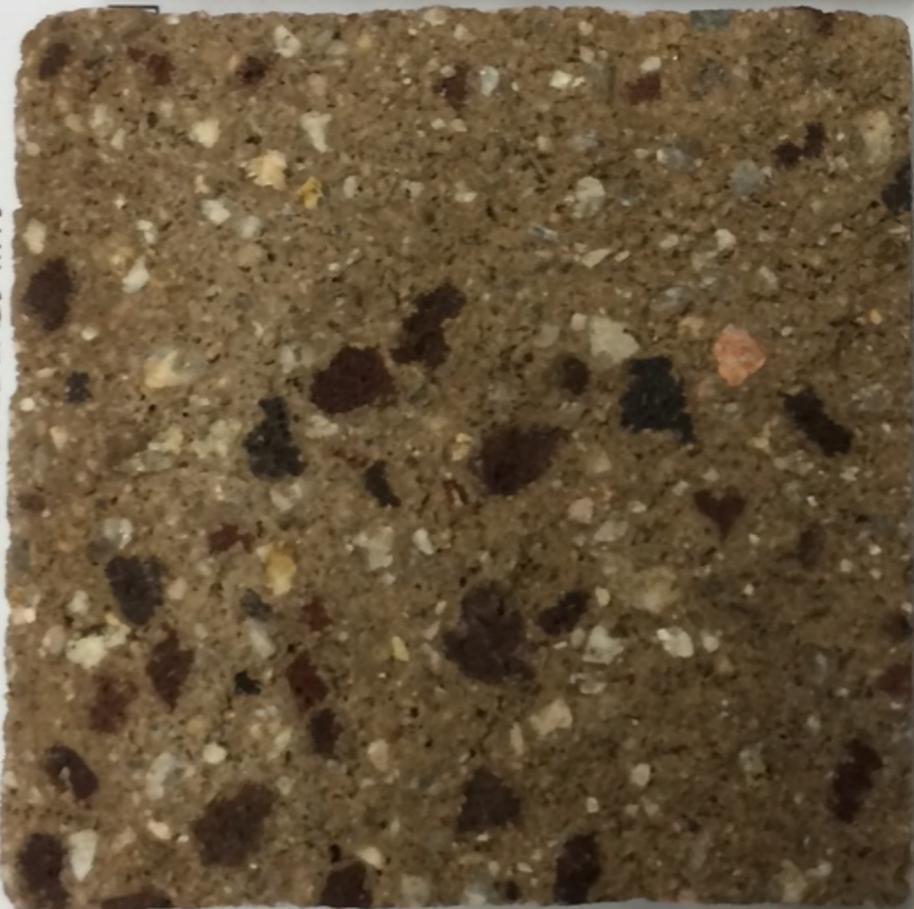
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CEMENT PLASTER,
SHERWIN WILLIAMS' SW6073 PERFECT GREIGE



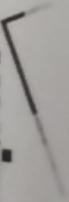
C.M.U. BURNISHED FACED CENTER SCORED,
'ORCO' GRAY



C.M.U. SPLIT FACED CENTER SCORED,
'ORCO' BROWN

Bridgeport

Market Place
24015 Newhall Ranch Road
Santa Clarita, CA 91354

 **verizon**wireless



Environmental Noise Assessment Report

Site No. NL0448.2
McBean-Bridgeport
24061 Newhall Ranch Rd.
Santa Clarita

EBI Project No. 21140016
May 7, 2014



Prepared for:



AT&T Mobility
12900 Park Plaza Drive, 3rd Floor
Cerritos, CA 90703

Prepared by:



TABLE OF CONTENTS

1.0 EXECUTIVE SUMMARY 3
2.0 BACKGROUND 3
3.0 REGULATORY REQUIREMENTS..... 5
4.0 SITE DESCRIPTION 6
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6.0 MODELED POST CONSTRUCTION NOISE LEVELS 9
7.0 RESULTS AND CONCLUSIONS 11
8.0 LIMITATIONS..... 12
9.0 REVIEWER CERTIFICATION..... 12

APPENDICES

- Appendix A Sound Monitoring Data & Notes**
- Appendix B EBI – Environmental Noise Model Results**
- Appendix C Equipment Specifications**

1.0 EXECUTIVE SUMMARY

AT&T proposes to locate an unstaffed wireless telecommunications facility at the site NL0448.2. This site is located in a commercial area at 24061 Newhall Ranch Rd., Santa Clarita, California and is herein referred to as 24061 Newhall Ranch Rd..

A study of the noise effects from the proposed climate controlled equipment on nearby areas was performed by EBI Consulting. Existing sound levels on the site property line and nearby residential areas were measured on May 7, 2014. Acoustic modeling was done to predict future sound levels and assess the potential change in existing sound levels. This report evaluates the compliance for the 24061 Newhall Ranch Rd. site in relation to 11.44.040 and the Wireless Facility no-net increase noise requirements as stated in 17.17.040.

Based on the results of this study, EBI concludes that the 24061 Newhall Ranch Rd. project will be in compliance with the City of Santa Clarita's noise level limits as defined by 11.44.040 and 17.17.040 concerning the sound level limits at all project property lines.

2.0 BACKGROUND

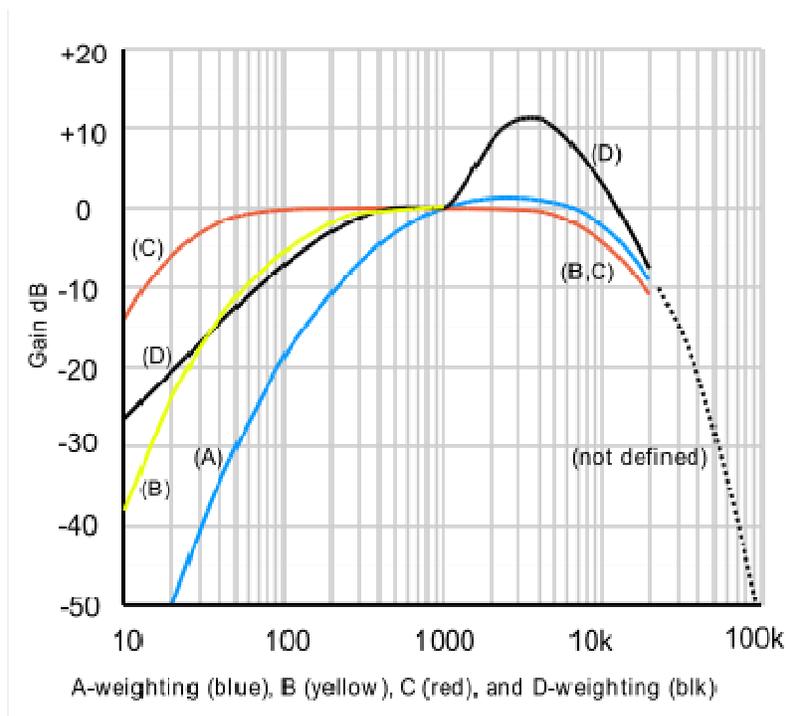
All sounds originate from a source. The sound energy, produced by a source, creates variations in air pressure which travel in all directions much like a wave ripples across the water. The "loudness" or intensity of a sound depends on the sound pressure level, defined as the ratio of two pressures: the measured sound pressure from the source divided by a reference pressure (i.e. threshold of human hearing). The most common approach to sound level measurement is to use the decibel (dB) scale. The decibel scale is logarithmic to accommodate the wide range of sound intensities the human ear is capable of responding to. On this scale, the threshold of human hearing is equal to 0 dB, while levels above 140 dB can cause immediate hearing damage.

One property of the decibel scale is that the combined sound pressure level of separate sound sources is not simply the sum of the contributing sources. For example, if the sound of one source of 70 dB is added to another source of 70 dB, the total is only 73 dB, not a doubling to 140 dB. In terms of human perception of sound, a 3 dB difference is the minimum perceptible change for broadband sounds (i.e. sounds that include all frequencies). A difference of 10 dB represents a perceived halving or doubling of loudness.

Environmental sound is commonly expressed in terms of the A-weighted sound level (dBA). The A-weighting is a standard filter to make measured sound levels more nearly approximate the frequency response of the human ear. Table I shows the adjustments made at each octave band frequency to contour un-weighted sound levels (dB) to A-weighted sound levels (dBA).

TABLE I - A-WEIGHTED OCTAVE BAND ADJUSTMENT (\pm dB)

Octave Band Center Frequency (Hz)	32	64	125	250	500	1000	2000	4000	8000	16000
A-weighting Adjustment (\pm dB)	-39.4	-26.2	-16.1	-8.6	-3.6	0.0	+1.2	+1.0	-1.1	-6.6



Environmental sound varies from moment to moment. Some sounds are sharp impulses lasting a very short time, while others rise and fall over much longer periods of time. There are various measures (metrics) of sound pressure designed for different purposes. The Leq, or equivalent sound level, is the steady-state sound level over a period of time that has the same acoustic energy as the fluctuating sound that actually occurred during that same time. The Leq is commonly referred to as the average sound level and is calculated automatically by the sound level meter using methods defined in ANSI S1.4-1983¹.

¹ American National Standards Institute, ANSI S1-4-1983, American National Standard Specification for Sound Level Meters, 1983

3.0 REGULATORY REQUIREMENTS

Section 11.44.040 City of Santa Clarita Municipal Code: Noise Limits

The City of Santa Clarita describes Community Noise standards and noise level limits. These limits are applicable at the boundaries of the property where sound is produced. The table of sound level limits for each land use category has been extracted from the Ordinance and is shown in Table 2, below. Note that the limit corresponding to the zoning district of the receiver (not the noise source) is applied.

**TABLE 2 – SANTA CLARITA MUNICIPAL CODE
 TABLE OF APPLICABLE EXTERNAL NOISE LIMITS**

Land Use	Time of Day	One-Hour Average Sound Level (decibels)
Residential	Daytime	65
	Nighttime	55
Commercial and Manufacturing	Daytime	80
	Nighttime	70

CORRECTION TO EXTERNAL NOISE LIMITS

Noise Condition	Correction (dB)
Repetitive impulsive noise	-5
Steady whine, screech or hum	-5

Additionally, the City of Santa Clarita has a Wireless Facility Requirement as stated in Section 17.17.040 of the municipal code:

“Within residential zones, sound proofing measures shall be used to reduce noise caused by the operation of wireless facilities and all accessory equipment to a level which would have a no-net increase in ambient noise level.”

4.0 SITE DESCRIPTION

The site NL0448.2 is located on an existing commercial rooftop at 24061 Newhall Ranch Rd., in Santa Clarita. The residential area surrounding the site zoned as commercial, according to the City of Santa Clarita zoning map², but is bordered approximately 175 feet to the southwest by an apartment building, and therefore noise generated by the installed equipment is evaluated using the limitations in the residential category of Table 2. Antennas and associated equipment cabinets are proposed for installation on the rooftop. The noise-generating equipment cabinet is to be located behind a parapet wall. Figure 1 presents the proposed equipment cabinet location, monitoring locations, property line and nearest residential property. According to aerial photographs, the nearest private residential structure is approximately 175 feet from the equipment cabinets.

² City of Santa Clarita "Official Zoning Map," July 2013. Online: <http://www.santa-clarita.com/modules/showdocument.aspx?documentid=7873>



FIGURE I – AERIAL SITE AND MONITORING LOCATIONS

Noise Compliance Survey

McBean-Bridgeport
NL0448.2
24061 Newhall Ranch Rd., Santa Clarita
Site Visit Dates: May 7, 2014

5.0 AMBIENT SOUND LEVEL MEASUREMENTS

Short-term (20 minute) sound monitoring, day and night, was performed in the area surrounding the proposed location on January 28 and May 7, 2014. See Figure 1.

All sound level measurements were taken with a Casella CEL-490 confirm make/model real-time octave-band sound level analyzer, which was equipped with a precision condenser microphone having an operating range of 5 dB to 140 dB, and an overall frequency range of 3.5 to 20,000 Hz. The meter meets or exceeds all requirements set forth in the American National Standards Institute (ANSI) Standards for Type I for quality and accuracy. Prior to and immediately following both measurement sessions, the sound analyzer was calibrated (no level adjustment was required) with an ANSI Type I calibrator, which has an accuracy traceable to the National Institute of Standards and Technology (NIST). All instrumentation was laboratory calibrated per ANSI recommendations. For all measurement sessions the microphone was fitted with an environmental windscreen to negate the effect of air movement and tri-pod mounted at a height of 1.3 meters above grade, and measurements were made away from any vertical reflecting surfaces in compliance with ANSI Standards S12.9³. All data were downloaded to a computer following the measurement session. The sound data are shown in Appendix A and are summarized in Table 3.

**TABLE 3 – AMBIENT SOUND LEVEL MONITORING RESULTS
 MAY 7, 2014**

Location	Description	Time	L _{eq} (dBA)
Loc-1	Nearest Residential Property	1:52 pm – 2:15 pm	65.7*
		12:40 am – 1:00 am	62.2

*Note that the daytime noise level at this location was estimated based on measurements taken approximately 150 feet from Loc-1, directly across from Newhall Ranch Road on January 28th. No daytime measurement was possible during the May 6th site visit due to weather constraints.

³ Acoustical Society of America, ANSI Standard S12.9-1992, “Quantities and Procedures for Description and Measurement of Environmental Sound”

6.0 MODELED POST CONSTRUCTION NOISE LEVELS

Post construction sound level effects from the proposed equipment at the nearest property line and nearest residence were calculated with the EBI Consulting – Environmental Noise Model (EBI-ENM). EBI-ENM is a sophisticated spreadsheet model for sound propagation and attenuation based on International Standard ISO 9613⁴ and other industry accepted calculation standards. Atmospheric absorption, the process by which sound energy is absorbed by the air, is calculated using the Volpe Method⁵ which is consistent with ANSI S1.26-1995⁶. The absorption of sound assumes standard dry conditions and is significant at great distances. The EBI-ENM model uses the Modified Kurze-Anderson Formula⁷ to predict the insertion loss of any barriers intersecting the line-of-sight between the receiver and the sound source. Complete modeling output sheets from the EBI-ENM are contained in Appendix B. Table 4 and Table 5 summarize the results of the acoustic modeling.

Predictive post-construction noise levels were calculated for site NL0448.2 using measured existing noise levels and acoustical specifications for one (1) Argus cabinet and three (3) Purcell cabinets. In addition barrier calculations were performed in the modeling analysis to reflect acoustical attenuation provided by the exterior walls of the rooftop parapet.

⁴ International Standard, ISO 9613-2, *Acoustics – Attenuation of Sound During Propagation Outdoors*, -- Part 2 General Calculation Method.

⁵ Rickley, E., Fleming, G., & Roof, C. *Simplified Procedure for Computing Absorption of Sound by the Atmosphere*, Noise Control Engineering, US, 2007

⁶ American National Standards Institute, ANSI S1-26-1995, American National Standard Method for the Calculation of the Absorption of Sound by the Atmosphere, 1995

⁷ Menounou, P. *A Correction to Maekawa's Curve for the Insertion Loss Behind Barriers*. Journal of Acoustical Society of America, Vol. 101, Issue 4, 2001

TABLE 4 – ACOUSTIC MODELING RESULTS

Source Name	Description	Equipment Noise Impact (dBA)	
		Source	Loc-1
Argus Cabinet	Equipment Cabinet Climate Control Unit	59	8.6
Purcell LTE Cabinet	Equipment Cabinet Climate Control Unit	65	14.5
Purcell LTE Cabinet	Equipment Cabinet Climate Control Unit	65	14.4
Purcell LTE Cabinet	Equipment Cabinet Climate Control Unit	65	14.3

TABLE 5 – POST CONSTRUCTION SOUND LEVEL RESULTS

Location	Existing Condition (dBA)		Future Condition (dBA) and Increase (±dB) w/ Proposed Equipment	
	Daytime	Nighttime	Daytime	Nighttime
Loc-1 Nearest Residential Property	65.7	62.2	65.7 (+0)	62.2 (+0)

7.0 RESULTS AND CONCLUSIONS

The City of Santa equipment cabinet installation at 24061 Newhall Ranch Rd. will comply with the city of Santa Clarita noise level limits as defined in Section 11.44.040 and no-net increase requirements of Section 17.17.040 of Municipal Code. The city of Santa Clarita stipulates for an area zoned Residential the noise limit shall not exceed 65 dBA during the daytime hours of 7:00am to 10:00pm, and 55 dBA during the nighttime hours of 10:00pm to 7:00am Both existing and post-construction noise levels are below these limits.

As shown in Table 5, worst-case predictive modeling indicates the proposed equipment will not result in any increase of existing noise levels at the site. Post-construction worst-case modeled sound levels are within the margin of error of EBI's acoustical model (+/- 1 dB). Therefore, the proposed equipment will cause no net increase in ambient sound level. The "worst-case" modeling methodologies are based on the manufacturer-provided equipment specifications. Manufacturer specifications include a decibel rating, which reflects the maximum decibel output the equipment will produce when running at full capacity. All equipment is assumed to be running at full capacity, simultaneously, twenty-four hours per day. Actual post-construction noise levels are expected to be below the levels predicted in our report, because the equipment is expected to produce less noise during normal conditions.

8.0 LIMITATIONS

This report was prepared for the use of AT&T Mobility. The conclusions provided by EBI are based solely on the information provided by the client. The observations in this report are valid on the date and time of the investigation. Reported noise levels contained herein are a factor of meteorological and environmental conditions present at the time of the site survey, and represent “typical” site noise levels. Measurement and calculations contained in this report should be considered accurate to within one decibel. Any additional information that becomes available concerning the site should be provided to EBI so that our conclusions may be revised and modified, if necessary. This report has been prepared in accordance with Standard Conditions for Engagement and authorized proposal, both of which are integral parts of this report and has been designed to address the City of Santa Clarita municipal code sections 11.44.040 and 17.17.040.

9.0 REVIEWER CERTIFICATION

I, Cynara Cannatella, state that:

- I am an employee of Envirobusiness Inc. (d/b/a EBI Consulting), which provides acoustic survey and compliance services to the wireless communications industry. I have reviewed the data collected during the site survey which is incorporated into this Site Compliance Report such that the information contained in this report is true and accurate to the best of my knowledge.

Sincerely,
By EBI Consulting



Senior Engineer

APPENDIX A

SOUND MONITORING DATA & NOTES

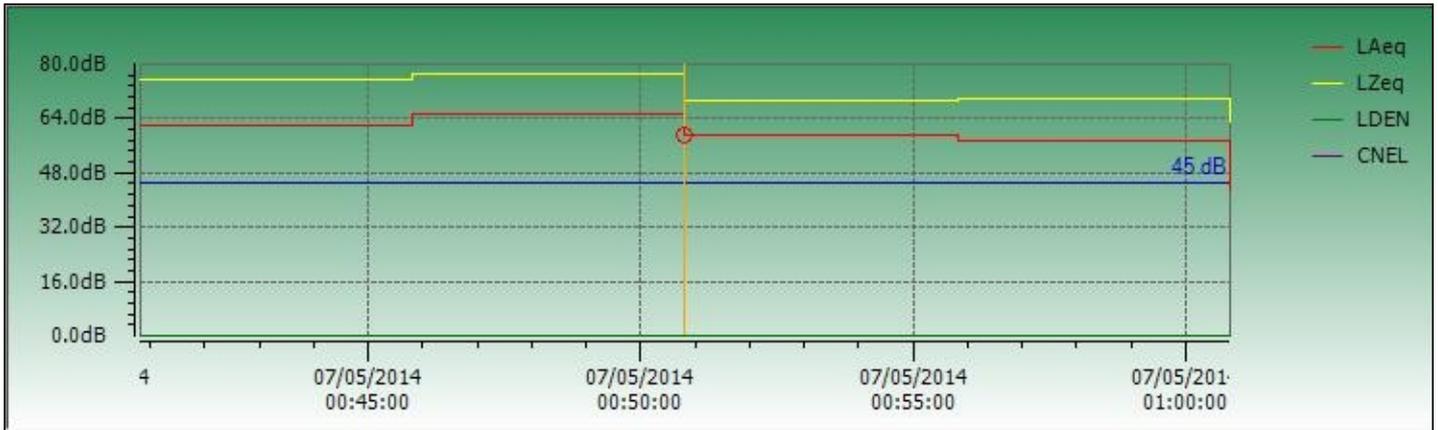
Report On Location 1-2 Night

Report Sorted/Grouped By: Site(Ascending)

Unallocated

Instrument Model **CEL-633B**

Duration	00:20:03 HH:MM:SS	Calibration (Before) Offset	-2.95
End Date & Time	5/7/2014 1:00:52 AM	Calibration (Before) SPL	114 dB
Run Number	2	Calibration Drift	2.950000000 dB
Start Date & Time	5/7/2014 12:40:49 AM	LAeq	62.1749 dB
Location	Location 1-2 Night	LZeq	74.1498 dB
Result	Period	LDEN	0
Calibration (After) Date		CNEL	0
Calibration (Before) Date	5/7/2014 12:14:05 AM		



APPENDIX B

EBI - ENVIRONMENTAL NOISE MODEL RESULTS

EBI Consulting - Environmental Noise Model

Daytime Sound Level Calculation

NL0448.2 / 21140016

Receiver Name	Source Name	ID	Dist. (m)	Lp/Lw	Lp Ref. Dist. (m)	Barrier ID	Octave Band Sound Pressure Level (SPL) at Receiver (dB)										Broadband SPL (dB)	Broadband SPL (dBA)
							32	64	125	250	500	1k	2k	4k	8k	16k		
Location 1 Day - Estimated Ne	-	L1D	-	-	-	-	69.8	74.4	74.4	66.9	61.1	60.5	55.7	48.2	39.0	28.5	78.6	65.7
-	Argus	C1	85.2	Lp	1.5	B1	16.9	6.7	4.4	15.2	2.4	-0.5	-3.9	-5.0	-15.2	-24.3	19.7	8.6
-	Purcell LTE Cabinet 1	C2	88.2	Lp	1.5	B5	28.1	25.4	21.3	17.5	12.1	7.3	3.3	-2.8	-9.5	-22.0	30.8	14.5
-	Purcell LTE Cabinet 2	C3	88.7	Lp	1.5	B9	28.1	25.4	21.2	17.4	12.0	7.2	3.3	-2.8	-9.5	-22.1	30.8	14.4
-	Purcell LTE Cabinet 3	C4	90.1	Lp	1.5	B13	28.0	25.2	21.1	17.3	11.9	7.1	3.2	-2.9	-9.7	-22.4	30.7	14.3
-	PREDICTED FUTURE LEVEL						69.8	74.4	74.4	66.9	61.1	60.5	55.7	48.2	39.0	28.5	78.6	65.7
Location 2 Day - Nearest Prope	-	L2D	-	-	-	-	67.0	70.7	70.1	61.5	55.4	56.6	52.4	44.7	34.9	25.2	74.7	61.3
-	Argus	C1	152.7	Lp	1.5	B3	11.9	1.8	-0.2	10.8	-1.7	-4.5	-7.9	-9.0	-20.3	-38.8	15.0	4.4
-	Purcell LTE Cabinet 1	C2	155.0	Lp	1.5	B7	23.3	20.7	16.8	13.2	8.1	3.4	-0.6	-6.8	-14.5	-36.4	26.1	10.3
-	Purcell LTE Cabinet 2	C3	158.3	Lp	1.5	B11	23.1	20.5	16.6	13.1	7.9	3.2	-0.7	-6.9	-14.7	-37.1	26.0	10.2
-	Purcell LTE Cabinet 3	C4	157.8	Lp	1.5	B15	23.2	20.6	16.6	13.1	7.9	3.2	-0.7	-6.9	-14.7	-37.0	26.0	10.2
-	PREDICTED FUTURE LEVEL						67.0	70.7	70.1	61.5	55.4	56.6	52.4	44.7	34.9	25.2	74.7	61.3

EBI Consulting - Environmental Noise Model

Nighttime Sound Level Calculation

NL0448.2 / 21140016

Receiver Name	Source Name	ID	Dist. (m)	Lp/Lw	Lp Ref. Dist. (m)	Barrier ID	Octave Band Sound Pressure Level (SPL) at Receiver (dB)										Broadband SPL (dB)	Broadband SPL (dBA)
							32	64	125	250	500	1k	2k	4k	8k	16k		
Location 1 Night - Nearest Resi	-	L1N	-	-	-	-	65.8	67.9	66.3	58.0	57.0	58.7	55.3	46.2	35.5	23.2	72.2	62.2
-	Argus	C1	85.2	Lp	1.5	B2	16.9	6.7	4.4	15.2	2.4	-0.5	-3.9	-5.0	-15.2	-24.3	19.7	8.6
-	Purcell LTE Cabinet 1	C2	88.2	Lp	1.5	B6	28.1	25.4	21.3	17.5	12.1	7.3	3.3	-2.8	-9.5	-22.0	30.8	14.5
-	Purcell LTE Cabinet 2	C3	88.7	Lp	1.5	B10	28.1	25.4	21.2	17.4	12.0	7.2	3.3	-2.8	-9.5	-22.1	30.8	14.4
-	Purcell LTE Cabinet 3	C4	90.1	Lp	1.5	B14	28.0	25.2	21.1	17.3	11.9	7.1	3.2	-2.9	-9.7	-22.4	30.7	14.3
-	PREDICTED FUTURE LEVEL						65.8	67.9	66.3	58.0	57.0	58.7	55.3	46.2	35.5	23.2	72.2	62.2
Location 2 Night - Nearest Prof	-	L2N	-	-	-	-	55.5	57.3	55.3	47.5	42.7	42.1	39.5	31.4	25.4	17.1	61.2	47.5
-	Argus	C1	152.7	Lp	1.5		19.2	9.8	8.7	21.3	10.9	10.8	10.4	12.2	3.9	-11.5	24.7	18.7
-	Purcell LTE Cabinet 1	C2	155.0	Lp	1.5	B8	23.3	20.7	16.8	13.2	8.1	3.4	-0.6	-6.8	-14.5	-36.4	26.1	10.3
-	Purcell LTE Cabinet 2	C3	158.3	Lp	1.5	B12	23.1	20.5	16.6	13.1	7.9	3.2	-0.7	-6.9	-14.7	-37.1	26.0	10.2
-	Purcell LTE Cabinet 3	C4	157.8	Lp	1.5	B16	23.2	20.6	16.6	13.1	7.9	3.2	-0.7	-6.9	-14.7	-37.0	26.0	10.2
-	PREDICTED FUTURE LEVEL						55.5	57.3	55.3	47.5	42.7	42.1	39.5	31.5	25.4	17.1	61.2	47.5

EBI Consulting - Environmental Noise Model

Daytime Noise Analysis Summary

NL0448.2 / 21140016

Receiver Summary	Broadband Sound Level (dBA)	Combined Source Sound Level (dBA)
Location 1 Day - Estimated Nearest Residence		
<i>Existing Noise Level</i>	65.7	
<i>Predicted Future Sound Level</i>	65.7	19.5
<i>Projected Sound Level Increase</i>	+ 0	
Location 2 Day - Nearest Property Line		
<i>Existing Noise Level</i>	61.3	
<i>Predicted Future Sound Level</i>	61.3	15.4
<i>Projected Sound Level Increase</i>	+ 0	

EBI Consulting - Environmental Noise Model

Daytime Noise Analysis Summary

NL0448.2 / 21140016

Receiver Summary	Broadband Sound Level (dBA)	Combined Source Sound Level (dBA)
Location 1 Night - Nearest Residence		
<i>Existing Noise Level</i>	62.2	
<i>Predicted Future Sound Level</i>	62.2	19.5
<i>Projected Sound Level Increase</i>	+ 0	
Location 2 Night - Nearest Property Line		
<i>Existing Noise Level</i>	47.5	
<i>Predicted Future Sound Level</i>	47.5	20.2
<i>Projected Sound Level Increase</i>	+ 0	

APPENDIX C
EQUIPMENT SPECIFICATIONS

AT&T RBA72 48V Primary / 24V Secondary Power and Battery Cabinet

Dual Voltage Power Cabinet



Overview

The RBA72 Power Cabinet equipped with the GE Energy Infinity S™ DC energy system is an outdoor power solution that supports dual voltage (-48V/+24V) operation through the use of a comprehensive range of advanced rectifiers and DC-DC converters. Primary voltage is supported by rectifiers and battery reserve, while secondary voltage is supported by DC-DC converter modules. The cabinet provides individual compartments for the power equipment and batteries. A dual loop heat exchanger allows for temperature control of the battery compartment while allowing the equipment to run at its designed range for maximum cooling cost efficiency.

Shelf / Cabinet Options

The outside plant cabinet is a GR487, Zone 4 compliant cabinet at 72"H x 39"D x 30"W equipped with a dual voltage Infinity S power system. Each distribution module is 4U tall and accommodates up to 26 single voltage or selectable voltage bullet breaker positions. Universal shelves are 1U tall with four slots that accept any Infinity series rectifier or converter interchangeably in any power slot. This allows the available slots to be filled with

- Dual voltage power cabinet with ultimate flexibility
- -48V up to 600A, 550A N+1
- +24V Secondary voltage up to 300A, 225A N+1
- High availability wireless telecom applications
- Telecom service providers

the mix of power modules desired. The only restriction is whether AC power is applied to the shelf. This gives extreme flexibility in the provisioning of power modules within the system. The separate battery compartment supports three strings of front access terminal batteries. Each battery shelf is equipped with pre-terminated cables for power and temperature probes.

Infinity Rectifier and Converter Family

The Infinity S offers DC rectifiers and converters for both +24V to -48V and -48V to +24V applications. Rectifiers and converters are color coded to quickly identify both the voltage and whether it is a rectifier or converter (orange for +24V and blue for -48V).

Rectifier and Converter Options:

- NE050AC48 Rectifier, 50A/48V Output
- NE075DC24 Converter, 75A/24V Output

Pulsar Plus Controller

The Infinity S utilizes the industry leading Pulsar Plus controller with Ethernet and SNMP communications to deliver extensive monitoring and control features with remote access.

Benefits

Reliability

- Distributed fault tolerance
- Proven field performance
- Controller continuity

Intelligence

- Industry leading controller features
- Ethernet interface for remote access
- Centralized network management

Investment Protection

- Module Compatibility
- Power Shelf Growth
- Secondary Voltage flexibility
+24V / -48V
- Flexible Upgrade Options

On Time Delivery

- Standard building blocks
- 4 - 6 week availability
- 24/7 technical support

Total Efficiency

The GE Energy Total Efficiency™ (TE) architecture reduces energy loss and lowers cooling costs by 50-70%. TE products will prioritize sustainable energy sources like solar, wind, water and fuel cells over traditional utility grid or diesel generator sources – and they will intelligently respond to smart grid information to reduce consumption during peak demand periods. Adaptive Rectifier Management (ARM) and Battery Charging Optimization (BCO) features increase efficiency on current and legacy power infrastructures. The Total Efficiency architecture addresses issues end-to-end based on our proven experience and expertise in batteries, power distribution, DC energy systems, AC-DC power supplies, and DC-DC board mounted power to deliver a solution that is more safe, reliable and energy efficient than competitive alternatives.



imagination at work

Infinity Rectifiers and Converters



- **Compact** - 1RU form factor providing high power density (24 W/in³)
- **Dual Voltage compatibility** – the unique connector pin designation allows the rectifier to be used in a “universal” power shelf, alongside rectifiers or DC-DC converters with different output voltages.
- **Plug and Play** – installation of the rectifier in a shelf connected to a compatible system controller initializes all set up parameters automatically. No adjustments are needed.
- **Extended service life** – parallel operation with automatic load sharing ensures that parallel units are not unduly stressed even when a unit fails or is removed.
- **Monitoring / control** – the built in microprocessor controls and monitors all critical rectifier functions and communicates with the system controller using the built in Galaxy Protocol serial interface.
- **Fail safe performance** – hot insertion capabilities allow for converter replacement without system shutdown; soft start and inrush current protection prevent nuisance tripping of upstream breakers.

Applications

- Telecommunications networks
- Digital subscriber line (DSL)
- Indoor/outdoor wireless
- Routers/switches
- Fiber in the loop
- Transmission
- Data networks
- PBX

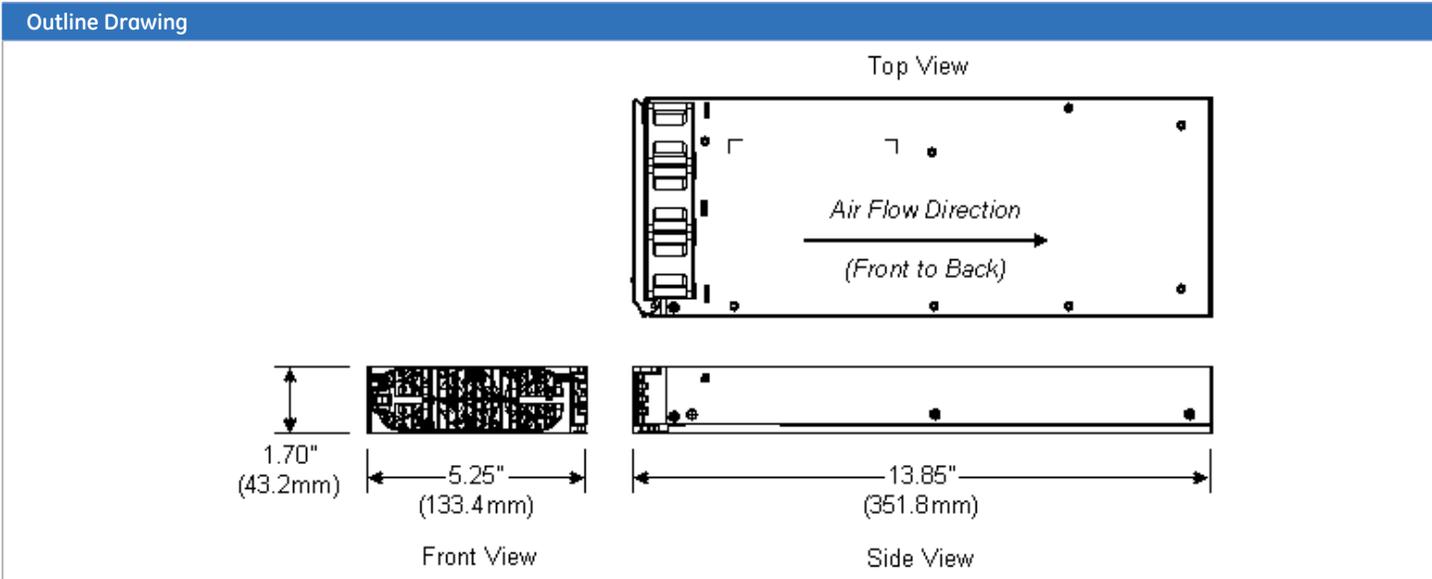
Key Features

- Extended temperature range
- Redundant fan cooling
- Front panel LED indicators
- 1U height, high power density
- 220/110 V AC input
- Digital load sharing
- Hot pluggable
- RoHS compliant

Specifications

Input	NE050AC48	NE075DC24
Voltage Range		42-60Vdc
- High-Line	175-275Vac	-
- Low-Line	-	-
Input Current	14.5A @208Vac 12.6A @240Vac	41A @54.5Vdc 54A @42Vdc
Input Frequency	45 – 66Hz	-
Power Factor	0.98 at>50% load	-
Efficiency	93%	-
Total Harmonic Distortion	<5% @loads over 50%	-
Output		
Voltage Adjust Range	42-58Vdc	23-28Vdc
Voltage Nominal	54.5V	27.2V
Regulation (with controller)	±0.5%	±0.5%
Ripple	100mV rms	100mV rms
Output Current		75A @27.2V
- High-Line	50A @54.5V	-
- Low-Line	-	-
Heat Dissipation @ max out	205W / 699 BTU/hr	202W / 689 BTU/hr

Environmental	
Operating Temperature	-40°C to +75°C (-40 to 167°F)
Storage Temperature	-40°C to +85°C (-40 to 185°F)
Humidity	< 95% non-condensing
Altitude	2000M max
Mechanical	
Length (inch/mm)	13.85 / 351.8
Width (inch/mm)	5.25 / 133.4
Height (inch/mm)	1.70 / 43.2
Weight (lb/Kg)	5.2 / 2.4
Safety and Standards Compliance	
NEBs Level 3	Evaluated by independent NRTL test lab to Telcordia GR63, Issue 3 and GR1089-CORE, Issue 5
Safety	CE mark to Low Voltage Directive 2006/95/EC and EMC Directive 2004/108/E (Rectifiers only) UL 60950-1, 1st Ed. Recognized CSA C22.2 No. 60950-1-03 Certified
RoHS	Compliant to RoHS EU Directive 2002/95/EC; RoHS 5/6
EMC	European Directive 2004/108/EC; EN55022, Class A; EN55024; FCC, Class A; GR1089-CORE, Issue 5
ESD	EN61000-4-2, Level 4



Pulsar Plus Controller



The Pulsar Plus family of controllers provides system monitoring and control features for Infinity, CP, and other power systems. These controllers monitor and control system components including rectifiers, converters, and distribution modules via a multi-drop RS485 digital communications bus. System status, parameters, settings, and alarm thresholds can be viewed and configured from the controller's front panel display. Assignment and configuration of alarm inputs and output relays can be performed from a laptop computer connected to a local RS-232 or Ethernet port, or by remote access is through a network connection to the

World Wide Web (internet) or your enterprise network (intranet). An optional modem is also available.

This controller utilizes standard network management protocols allowing for advanced network supervision. GE Energy Galaxy Manager™ software is the centralized visibility and control component of a comprehensive power management system designed to meet engineering, operations and maintenance needs. The Galaxy Manager client-server architecture enables remote access to system controllers across the power network.

Applications

- Telecommunications networks
- Digital subscriber line (DSL)
- Indoor/outdoor wireless

- Routers/switches
- Fiber in the loop
- Transmission

- Data networks
- PBX

Key Features

Remote Access and Features

- Integrated 10/100Base-T Ethernet Network
 - TCP/IP
 - SNMP V2c for management
 - SMTP for email
 - Telnet for command line interface
 - DHCP for plug-n-play
 - FTP for rapid backup and upgrades
 - HTTP for standard web pages and browsers
 - Compatible with Galaxy Manager and other management packages
 - Shielded RJ-45 interface referenced to chassis ground
- Password protected security levels: User, Super-User, Administrator for all access
- Ground-referenced RS232 system port
- ANSI T1.317 command-line interface
- Modem access support
 - Remote via external modem
 - Callback security
- EasyView2, Windows-based GUI software for local terminal or Modem access

Standard System Features

- Monitor and control of more than 60 connected devices
 - Robust RS485 system bus
- Standard and user defined alarms
 - Alarm test
 - Assignable alarm severity: Critical, Major, Minor, Warning, and record-only
 - 10 alarm relays (7 user assigned)
- Rectifier management features
 - Automatic rectifier restart
 - Adaptive Rectifier Management ARM (energy efficiency)
 - Remote rectifier (on/off)
 - Reserve Operation
 - Automatic rectifier sequence control
 - N + X redundancy check
- Multiple Low Voltage Load and Low Voltage Battery Disconnect thresholds
- Configuration, statistics, and history
 - All stored in non-volatile memory
 - Remote/local backup and restore of configuration data
- Industry standard defaults
 - Customer specific configurations available
- Remote/ local software upgrade
- Basic, busy hour, and trend statistics
- Detailed event history

- User defined events and derived channels

Standard Battery Management Features

- Float/boost mode control
 - Manual boost
 - Manual timed boost locally, T1.317, and remotely initiated
 - Auto boost terminated by time or current
- Battery discharge testing
 - Manual (local/remote)
 - Periodic
 - Plant Battery Test (PBT) input driven
 - Configurable threshold or 20% algorithm
 - Graphical discharge data
 - Rectifiers on-line during test
- Slope thermal compensation
 - High temperature
 - Low temperature
 - Step temperature
 - STC Enable/Disable, low temperature Enable/Disable
 - Configurable mV/°C slopes
- State of charge indication
- High temperature disconnect setting
- Reserve-time prediction
- Recharge current limit
- Emergency Power-Off input

Integrated Monitoring Inputs/Outputs

- System plant voltage (accuracy ±0.04V, resolution 0.01V)
- One system shunt (accuracy ±0.5% full scale, resolution 1A)
 - Battery or load
 - Mounted in the return side of DC bus
- Up to 15 binary inputs
 - Six inputs close/open to battery
 - 9 input close/open to return
 - User assignable
- Up to 7 Form-C output alarms (60VDC @ .5A)
 - User assignable
- 1-Wire™ bus devices
 - Up to 16 temperature probes (QS873)
 - Up to 6 mid-string monitors (ES771)

General	
Operating Voltage	±24 Vdc, ±48 Vdc (Range: ±18 to ±60 Vdc)
Input Power	Less than 7W
Operating Temperature Range	-40°C to +75°C (-40 to 167 °F)
Operating Relative Humidity	0 - 95% (non-condensing)
Storage Temperature Range	-40°C to +85°C (-40 to 185 °F)
Physical Specifications	Sizes vary by packaging option
Display	8-line by 40-character with alarm context sensitive backlit LCD

Galaxy Manager Compatible

- Centralized web server and database with multiple user access to live or managed data with drill down to problem details
- Monitor and control of more than 40 connected devices
- Management information from polling or alarms received from alarm traps from multiple sites are available on one screen via the inter/intranet
- Trend user selected data over time
- Automatic or manual report generation
- Standard engineering tools like reserve time calculators and cable voltage drop analyzer

Safety and Standards Compliance	
NEBs	Evaluated by independent NRTL test lab to Telcordia GR63, Issue 3 and GR1089-CORE, Issue 5
Safety	CSA C22.2 No. 60950-1-03 Certified for Canada and U.S.; UL60950-1 1st Ed.
RoHS	Compliant to RoHS EU Directive 2002/95/EC RoHS 5/6
EMC	European Directive 2004/108/EC; EN55022, Class A; EN55024; FCC, Class A; GR1089-CORE, Issue 5

Agency Certifications	
NEBs Level 3	Evaluated by independent NRTL test lab to Telcordia GR63, Issue 3 and GR1089-CORE, Issue 5
EMC	European Directive 2004/108/EC; EN55022 (CISPR22) Class A; EN55024 (CISPR24)
Safety	Underwriters Laboratories (UL) Listed per Subject Letter 1801: Power Distribution Center for Communications Equipment, and cUL Certified (CSA 22.2 950): Safety of Information Technology Equipment

Infinity S™ Power System



Infinity S may be configured as a +24V or -48V single voltage power system or as a dual voltage power system that supports rectifiers and converters. The primary voltage is supported by +24V or -48V rectifiers and battery reserve, while secondary voltage is supported by DC-DC converters. Infinity-S includes dedicated 24V, 48V and return buses. The primary voltage capacity is 800A at 24V and 600A at 48V. Secondary (-48V) voltage capacity is up to 120A. The system includes low voltage battery disconnect option for the primary voltage. A low voltage load disconnect option can be used for load shedding to maintain critical loads.

Applications

- Wireless Telecom networks
- Indoor/outdoor wireless
- Transmission
- Data networks
- Eco Priority Source

Key Features

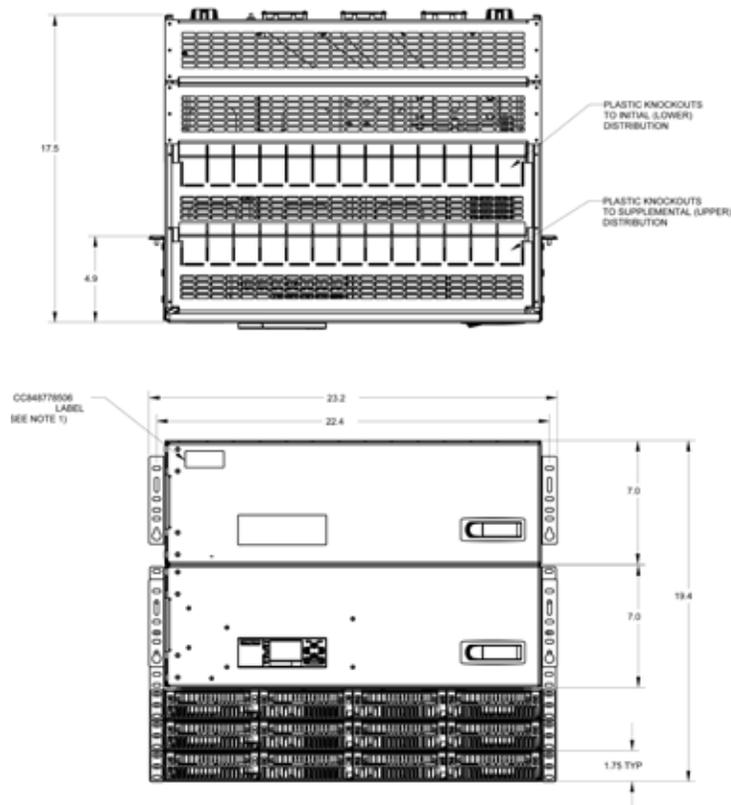
- Dual Voltage Flexibility
- Redundant fan cooling
- Front panel LED indicators
- 1U height, hi power density
- 220/110 V AC input
- Digital load sharing
- Hot pluggable
- RoHS compliant

Specifications

Input	Min	Typ	Max	
Voltage Range				
- High-Line	175Vac	220Vac	275Vac	Only available in 24V rectifiers
- Low-Line	85Vac	110Vac	140Vac	
Frequency	45Hz	60Hz	66Hz	
Power Factor	98%	99.5%		
Efficiency	Approaching 97%			
Total Harmonic Distortion	5%			
Primary Output				
Nominal Voltage	-48Vdc			
Output Current	600A			
Voltage Setpoint (factory)	-54.5V ±1%			
Voltage Range	42-58Vdc			
Regulation (with controller)	±0.5%			
Secondary Output				
Nominal Voltage	+24V			
Output Current	300A (225A N+1)			
Voltage Setpoint (factory)	27.25V ±1%			
Voltage Range	21-29Vdc			
Regulation (with controller)	±0.5%			
Mechanical				
Height (in. /mm)	8.75 / 222 (Base system with 1 power shelf) 19.4 / 352 (Base system with 3 power shelves and 2 distributions)			
Width (in. /mm)	23 / 584.2 (Standard Frame)			
Depth (in. /mm)	18 / 457.2			
Weight (lb / Kg)	42 / 19 (Base system with 1 power shelf) 92 / 42 (Base system with 3 power shelves and 2 distributions)			

Environmental	
Operating Temperature	-40°C to +75°C (-40 to 167°F)
Storage Temperature	-40°C to +85°C (-40 to 185°F)
Humidity	< 95% non-condensing
Altitude	2000M max
Safety and Standards Compliance	
NEBs Level 3	Evaluated by independent NRTL test lab to Telcordia GR63, Issue 3 & GR 1089, Issue 5
Safety	CSA C22.2 No. 60950-1-03 Certified for Canada and U.S.; UL 60950-1 1st Ed.
RoHS	Compliant to RoHS EU Directive 2002/95/EC; RoHS 6/6
EMC	European Directive 2004/108/EC; EN55022, Class A; EN55024; FCC, Class A; GR1089-CORE, Issue 5
Agency Certifications	
CSA	CSA C22.2 No. 60950-1-03 and UL 60950-1 1st Ed.
EMI/EMC	European Directive 2004/108/EC; EN55022, Class A; EN55024; FCC, Class A; GR1089-CORE, Issue 5
NEBs Level 3	Evaluated by independent NRTL test lab to GR 1089-CORE, Issue 5

Outline Drawing



Cabinet Specifications

RBA72 Power / Battery Cabinet with 3 strings @ -48 VDC, 540 total Ah

Swing handle with padlock hasp

1" & 2" Conduit knockouts on both sidewalls, lower rear wall, and cabinet floor



Infinity S™ Power System, Pulsar Plus Controller, DC Distribution (8 RU)

Top Distribution: 48V Only

- 24 Circuit Breaker Positions
 - 6 GMT Fuse Positions
- Lower Distribution: 24 or 48V
- 26 Selectable Circuit Breaker Positions

Infinity TE Rectifier (4 RU)

- 350A 48V & 225A 24V Capacity with N+1 Redundancy
- OR
- 550A 48V Capacity with N+1 Redundancy

Note: Rectifier and Converter Modules are not included

Door mounted heat exchanger (electronics cooling)

Available equipment space (2 RU) for RayCap Remote Head Surge Protection

Door mounted ventilation system (battery cooling)

Document storage pockets



- Front Door Assembly
 - Direct Air cooled with variable speed
 - Ventilated battery cooling via door mounted fans
 - Door latch with integrated padlock hasp
 - Fan power and alarm board

- (4) Battery Trays for sized for 6 strings 180Ahr VRLA batteries or 6 strings 150 Ahr Saft batteries

- (4) Battery Heater Pads
- (2) Solid Rear Access Panels
- Multiple 1" & 2" Conduit Knockouts on the Rear and Sides

- AC Terminal Blocks
- (1) Door Alarm – Microswitch & Door Alarm Cabling
- (1) Alarm Interface Block
- (1) Copper Ground Bus
- Ground Straps for the Rear Access Panels
- Intertek Listed
- RoHS Compliant

Battery Compartment

- 3 strings of 155 or 180 Ah batteries @ - 48 VDC
- Equipped with battery heaters
- Batteries are not included
- VRLA or Saft TelX 180 NiCd batteries may be used. See Saft AT&T Ordering Guide for the NiCd battery part number

Additional Features

- Sealed to outside air
- 3-point latching mechanism for door
- Removable kick plate for easy install
- (2) Lockable rear access panels
- GR-487 Zone 4 compliant

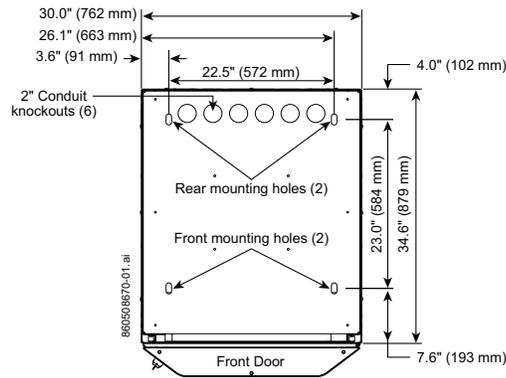
Battery Cabinet

- Electronic compartment
 - GE 14 position circuit breaker panel assembly
 - Bus bar kit that handles (4) sets of 410 AWG
 - (6) 100A battery breakers (trip and alarm off)

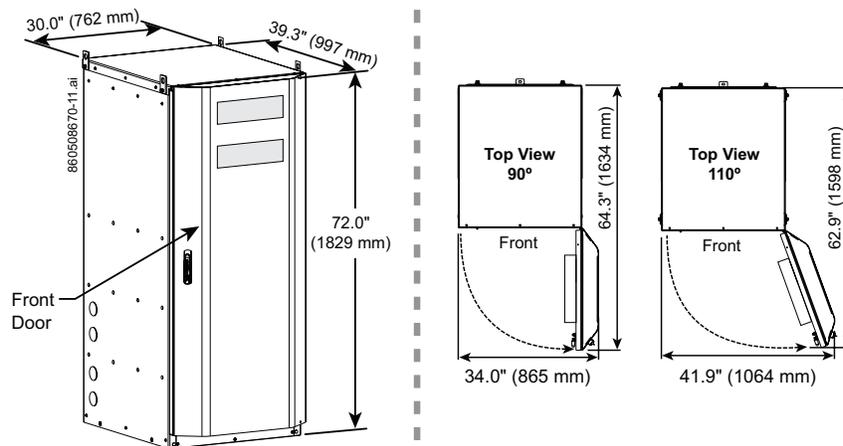
Mechanical	Power Cabinet	Battery Cabinet
Height	72 inches	72 inches
Width	30 inches	36 inches
Depth	39 inches	39 inches
Weight	425 lbs (No batteries or rectifier and converter modules)	350 lbs (No batteries)
Cooling Technology	Heat Exchanger (electronics), ventilation (batteries)	
Batteries	Not included, will accommodate AT&T approved VRLA & Saft TelX 180 batteries	
Alarms	Door intrusion, blown fuse, fan fail, AC fail, high temperature, rectifier fail, battery breaker fail, high/low input voltage, battery on discharge	
AC Surge Protection Device	Not included	
DC Surge Protection Device	Equipped with Raycap Strikesorb surge protection modules. 30-V1-HV-DMR	

Outline Drawing

RBA Series 30-Inch Wide Cabinet Mounting Footprint



RBA72 Cabinet Dimensions and Door Clearances (90° and 110° Open)



Step 1: Select Cabinet System

-48V Primary voltage systems with +24V converters			
Output	Ordering Code AT&T NEQ	Model	Picture
	150024099 NEQ.15380	RBA72 Power Node Cabinet Includes the dual voltage Infinity S power system that is rated @ 550A N+1 and is capable of supporting 3 battery strings. Per AT&T specifications, using 3 strings of 180Ahr batteries, the batteries will support 118.5A of load capacity.	
	150024100 NEQ.15502	RBA72-36 Supplemental Battery Cabinet Supports up to 6 strings of batteries. Battery disconnect panel in top of cabinet supports an individual 100A disconnect per battery string. Per AT&T specifications, using 6 strings of 180Ahr batteries, the batteries will support 237A of load capacity.	

Step 2: Select Rectifiers and Converters

Rectifiers			
	Ordering Code AT&T NEQ	Model	Photo
	CC109124913	175-275Vac input, 48V, 50A output	
	NEQ 13101		
50A		NE050AC48	

Converters			
	Ordering Code AT&T NEQ	Model	Photo
	CC109142881	42-58 Vdc input, 24V, 75A output	
	NEQ 13102		
75A		NE075DC24	

Step 3: Select Alarm Cables

Alarm Cables			
AT&T NEQ	Ordering Code	Model	Photo
	CC848865980	15ft Auxiliary input alarm cable for Pulsar Plus Controller	
NEQ.13077	CC848817651	50ft Auxiliary input alarm cable for Pulsar Plus Controller	
	CC848817668	150ft Auxiliary input alarm cable for Pulsar Plus Controller	
	CC109157442	15ft alarm cable for Pulsar Plus Controller	
NEQ.12762	CC848817635	50ft alarm cable for Pulsar Plus Controller	
NEQ.13076	CC848817643	150ft alarm cable for Pulsar Plus Controller	

Step 4: Select Distribution Components

Note: Infinity S systems all support plug-in (bullet style) breakers or fuse modules. Larger breakers can be 2 or even 3 poles. The multi-pole breakers MUST be used with the appropriate multi-pole adapter to parallel the poles for proper operation.

Bullet Style Load Circuit Breakers					
AT&T NEQ	Ordering Code	Amperage	CB Positions (Poles)	Min Wire Gage	Photo
NEQ 00783	407998137	3	1	10	
CEQ 22902	407998145	5	1	10	
CEQ 72612	407998152	10	1	10	
CEQ 22904	407998160	15	1	10	
NEQ 00784	407998178	16	1	10	
CEQ 22905	407998186	20	1	10	
NEQ 00785	407998194	25	1	10	
CEQ 23187	407998202	30	1	10	
CEQ 24084	408213486	40	1	8	
NEQ 00786	407998210	45	1	8	
CEQ 22903	407998228	50	1	6	
NEQ 00787	407998236	60	1	6	
NEQ 00788	407998244	70	1	2	
NEQ 00789	407998251	80	1	2	
NEQ 00790	407998269	90	1	2	
NEQ 14582	CC848808551	100	2	2	
NEQ 00791	408185353	125	2	2	
NEQ 00792	408185346	150	2	1/0	
NEQ 12748	408564941	200	3	2/0	
NEQ 12749	408573975	225	3	4/0	
NEQ 00394	408535752	250	3	4/0	   
NEQ 12745	CC848756916	2-pole Adapter bus for 100-150A breakers; used for 1/4"-20 on 5/16" Lugs (order 2 per 2 pole breaker to accommodate load and return lugs)			
	850021775	2-pole Adapter bus for 100-150A breakers; used for 3/8" on 1" lugs (order 2 per 2 pole breaker to accommodate load and return lugs)			
NEQ 12746	CC848756924	3-pole Adapter bus for 200-250A breakers; Off-Center connection (order 2 per 3 pole breaker to accommodate load and return lugs)			
	850021955	3-pole Adapter bus for 200-250A breakers; centered connection (order 2 per 3 pole breaker to accommodate load and return lugs)			

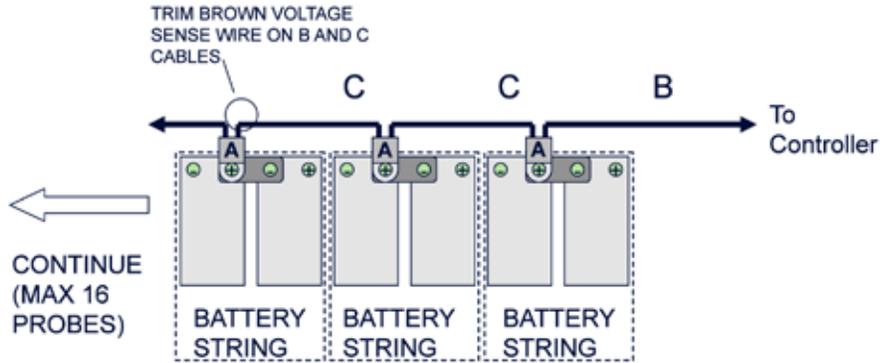
Bullet Style Fuse Holder and TPS Fuses						
AT&T NEQ	Ordering Code	Amperage	WP-92461 List	Min Wire Gage	Photo	
	406700567	3	100	10		
	406700583	5	101	10		
	406700591	6	102	10		
	406700609	10	103	10		
NEQ 10534	406700617	15	104	10		
NEQ 00347	406700625	20	105	10		
NEQ 10535	406700633	25	106	10		
NEQ 01001	406700641	30	107	10		
NEQ 01294	406700658	40	108	10		
SEQ 27471	406700674	50	109	8		
NEQ 01002	406700682	60	110	6		
NEQ 00468	406700690	70	111	6		
NEQ 01295	406794784	100	3	2		
NEQ 00469	402328926	0.18 Alarm Fuse				
	408548944	Bullet Fuse Holder, TFD-101-011-09 (Alarms on Blown Fuse or Fuse Head Removal)				
	CC408617410	Bullet Fuse Holder, TFD-101-011-10 (Alarms on Blown Fuse Only)				
Bullet Style GMT Fuse Holder and GMT Fuses						
	405006222	0.25A				
	406976894	0.5A				
	405673146	1.33A				
	405181983	2A				
	406976985	3A				
	406159061	5A				
	405725433	7.5A				
	406159236	10A				
	407845197	12A				
	406473959	15A				
NEQ 15379	CC109103157	6-pos GMT Bullet Fuse Holder (Requires 2 bullet postions)				
	408515823	Fuse Puller				

Terminal Lugs for Bullet Style Breakers and TPS Fuses (1/4" bolt on 5/8" centers)					
AT&T NEQ	Ordering Code	STR Wire GA (Class B)	Flex Wire GA (Class I)	WP-91412 List	Photo
NEQ 13062	406021626	8	8	75	
NEQ 13063	405347519	6	6	3	
NEQ 12753	405347576	4	4	5	
NEQ 12754	405348202	2	-	54	
NEQ 12755	405347683	-	2	8	
Terminal Lugs for Battery and Large Breakers (3/8" bolt on 1" centers)					
CEQ 72615	406338665	2	-	-	
NEQ 12761	405348228	1/0	-	-	
NEQ 13078	405348236	2/0	1/0	-	
NEQ 13071	406021725	-	2/0	-	
NEQ 12743	405348251	4/0	-	-	
NEQ 12865	405347923	-	4/0	-	

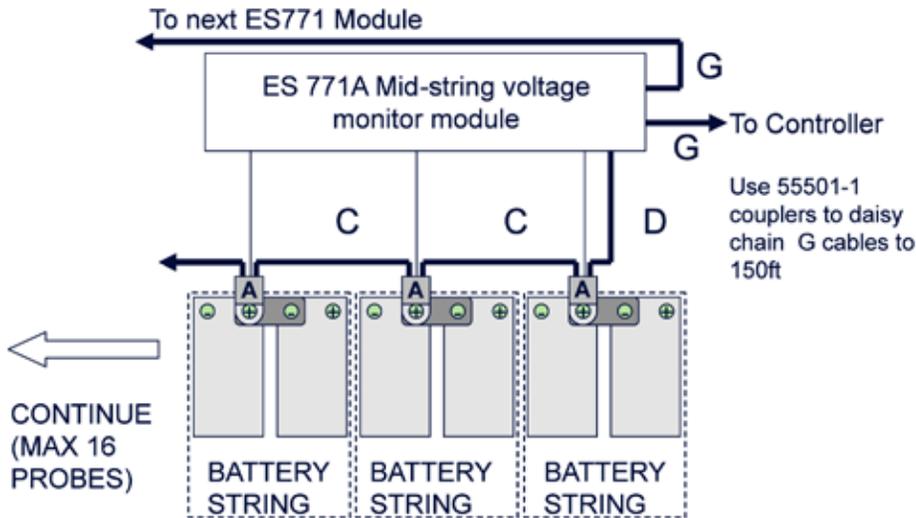
Step 5: Select Battery Monitoring

AT&T NEQ	Ordering Code	Description	Photo
NEQ 14585	CC109142980	QS873A Thermal Probe (A)	
NEQ 13072	CC848817024	10 ft wire set (B: thermal probe to controller)	
	CC109157434	20 ft wire set (B: thermal probe to controller)	
NEQ 14586	CC848822560	1 ft wire set (C: thermal probe to thermal probe)	
NEQ 10382	848719803	5 ft wire set (C: thermal probe to thermal probe)	
NEQ 14587	CC848822321	10 ft wire set (C: thermal probe to thermal probe)	
NEQ 13073	108958422	ES771A Battery Voltage Monitor Card	
	CC848791517	2-1/2 ft wire set (D: ES771A to thermal probe)	
	CC848797290	6 ft wire set (D: ES771A to thermal probe)	
NEQ 13074	848719829	10 ft wire set (D: ES771A to thermal probe)	
	CC848791500	4 ft wire set (G: ES771A to ES771A or controller)	
NEQ 13075	848652947	10 ft wire set (G: ES771A to ES771A or controller)	
	555052-1	In-Line Coupler (for extending item G above)	

Temperature/Voltage probes are needed for battery monitoring. They are connected to each battery or battery string to provide slope thermal compensation, temperature alarms and voltage imbalance alarms.



Temperature Measurement



Temperature and Voltage Measurement

Management Visibility

Galaxy Manager™ software is the centralized visibility and control component of a comprehensive power management system designed to meet engineering, operations and maintenance needs. The Galaxy Manager client-server architecture enables remote access to system controllers across the power network.

- Dashboard display with one-click access to management information database
- Trend analysis
- Scheduled or on demand reports
- Fault, configuration, asset, and performance management

Training

GE Energy offers on-site and classroom training options based on certification curriculum. Technical training can be tailored to individual customer needs. Training enables customers and partners to more effectively manage and support the power infrastructure. We have built our training program on practical learning objectives that are relevant to specific technologies or infrastructure design objectives.

Service & Support

GE Energy field service and support personnel are trusted advisors to our customers – always available to answer questions and help with any project, large or small. Our certified professional services team consists of experts in every aspect of power conversion with the resources and experience to handle large turnkey projects along with custom approaches to complex challenges. Proven systems engineering and installation best practices are designed to safely deliver results that exceed our customers' expectations.

Warranty

GE Energy is committed to providing quality products and solutions. We have developed a comprehensive warranty that protects you and provides a simple way to get your products repaired or replaced as soon as possible.

For full warranty terms and conditions please go to www.ge.com/powerelectronics.



GE Energy

Contact Us

For more information, call us toll free at **+1 877 546 3243**, or +1 972 244 9288 and visit us on the web at www.ge.com/powerelectronics

FlexSure®

FLX12WS

GR-487 Certified for Wireless Data Broadband Backhaul Applications

Highly-Configurable and Modular

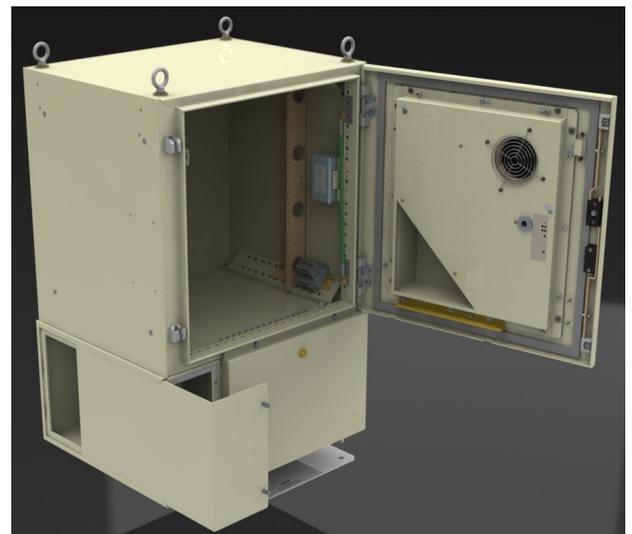
- FlexSure architecture uses interchangeable components to support virtually any configuration
- Expandable architecture allows you to modify the cabinet as application requirements grow
- Optional components may be added to the equipment bay including thermal management, battery base, AC power termination and splice end chamber, and DC power management

Advanced Thermal Management Capabilities

- Direct Air Cooling (DAC) options
- Thermoelectric Cooling (TEC) options
- Air Conditioning options
- Adjust thermal management as requirements change—replace the cabinet door in the field with no service interruption

Unique Cabinet Mounting and Demarcation Options

- Cabinet-on cabinet vertical stacking maximizes available space
- Pad, pole, wall, and H-frame mounting available
- Plinth options allow for simple cable egress
- Sliding demarcation access door



FlexSure®

FLX12WS

GR-487 Certified for Wireless Data Broadband Backhaul Applications

Equipment Mounting

- 12RU, 19" or 23" rails, front to back adjustable

Construction Materials

- Material: Aluminum (lightweight, corrosion-resistant)
- Paint: GR-487 tested & certified power coat

Door/Side Panel Construction

- Doors: Front door with door alarm and optional air conditioner, heat exchanger, or fan system
- Latches: Two-point latched, pad lockable

Cable Entry

- (5) 1 3/8", (1) 7/8", (3) 2 1/2", (2) 4 1/8" knockouts

Battery Pedestal

- Accommodates up to 60Ahr batteries

Warranty

- 5 years enclosure/1 year thermal system

Environmental Options

- Thermoelectric Cooler: 400W @ 0°dT, +24VDC, -48VDC, or 120VAC
- Air Conditioner: Up to 2,000 BTU/hr air conditioner with heater
- Heat Exchanger: Up to 39W/ °C heat exchanger, +24VDC or -48VDC
- Fan System: DC powered fan system for equipment cooling

AC Power Options

- 30A-main power with optional transient voltage surge protection, 15A generator connection cable, and 6-position DIN-mounted AC breaker panel (120V or 240V configurations). Optional DIN-mounted TVSS
- 15A GFCI dual outlet receptacle convenience outlet

Mounting Options

- 4" plinth
- 14" plinth
- Pole mount kit
- Wall mount kit
- Vertical cabinet-on-cabinet stacking

Configuration	Variable	Height	Width	Depth
Battery Pedestal	Basic	35.00		
	Demarc Box	41.09		
	Demarc Box, Eye Bolt	43.40		
Plinth	Basic	27.02		
	Demarc Box	33.11		
	Demarc Box, Eye Bolt	35.42		
Side Chamber			33.86	
No Side Chamber			24.00	
ECU	None			20.00
	Heat Exchanger			23.25
	Thermoelectric Cooler			26.50
	Air Conditioner			30.22

Assembly	Weight (Lbs)
Equipment Bay	53
HEX Door	22
TEC Door	59
A/C Door	71
Plinth	8
Battery Pedestal	34
Demarc Box	20
Side Chamber	45

Purcell Systems, Inc.

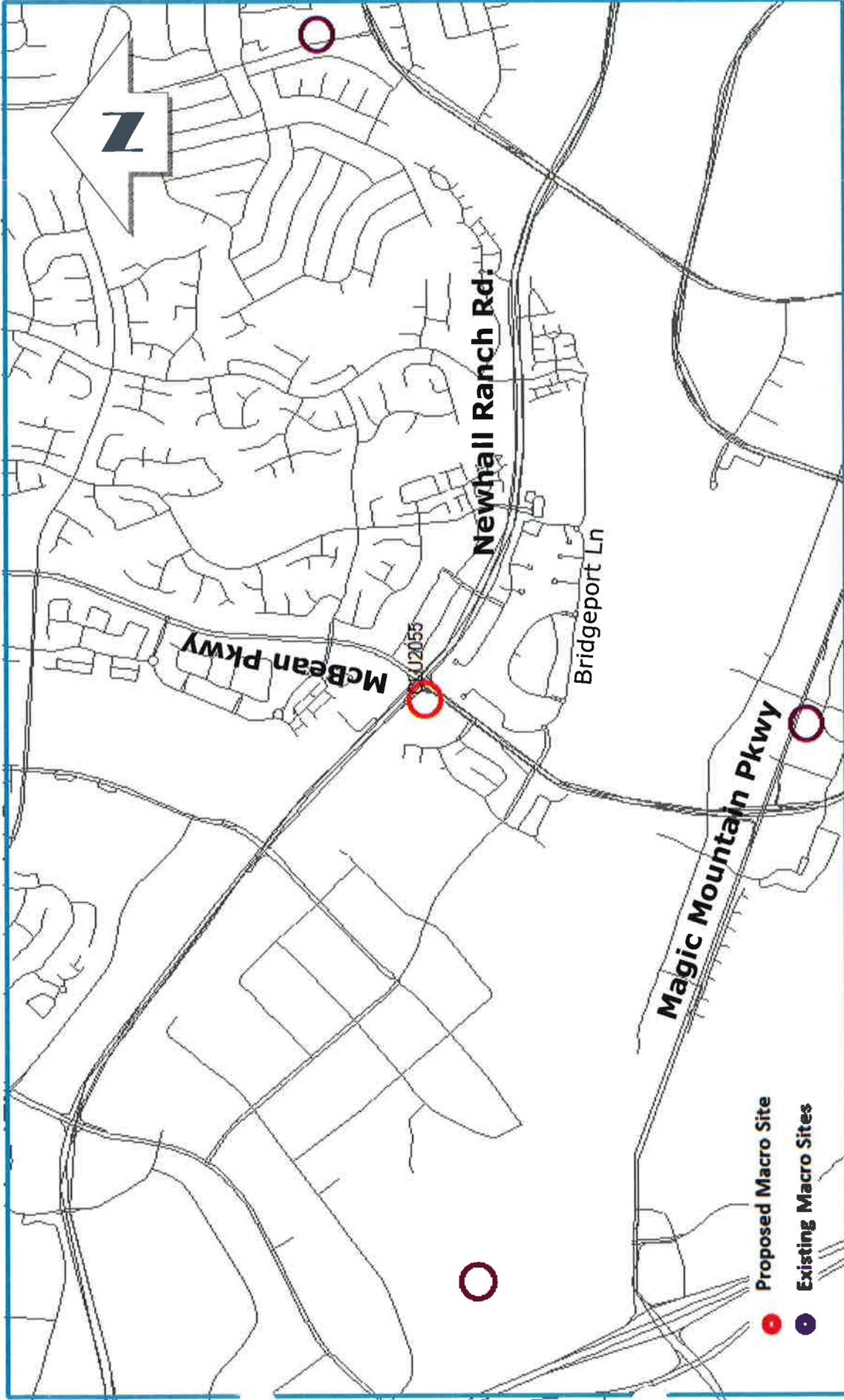
16125 East Euclid Avenue Spokane Washington 99216

Phone: 509.755.0341 www.purcellsystems.com

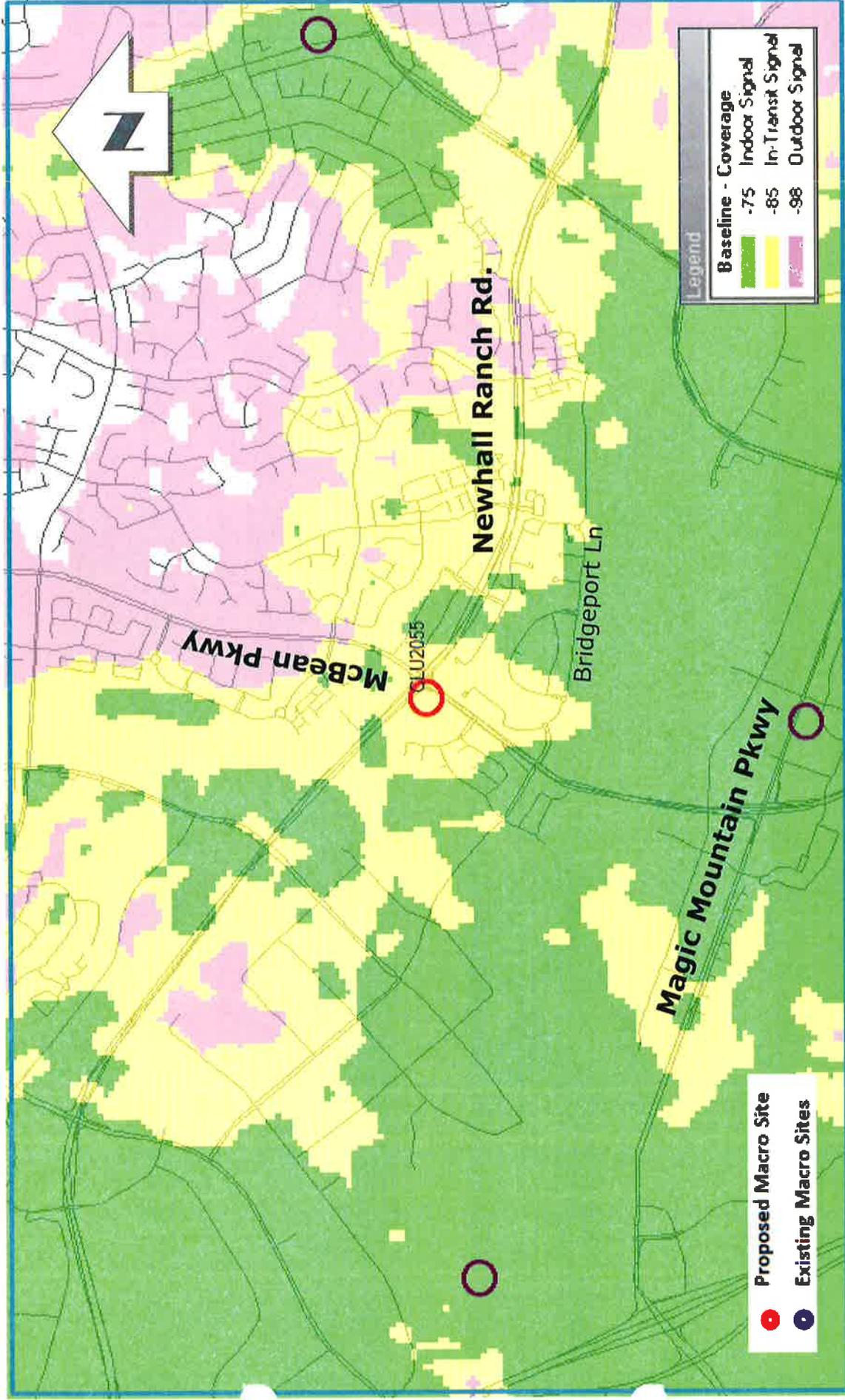


Coverage Site: NL0448

20461 Newhall Ranch Road, Santa Clarita, CA 91355

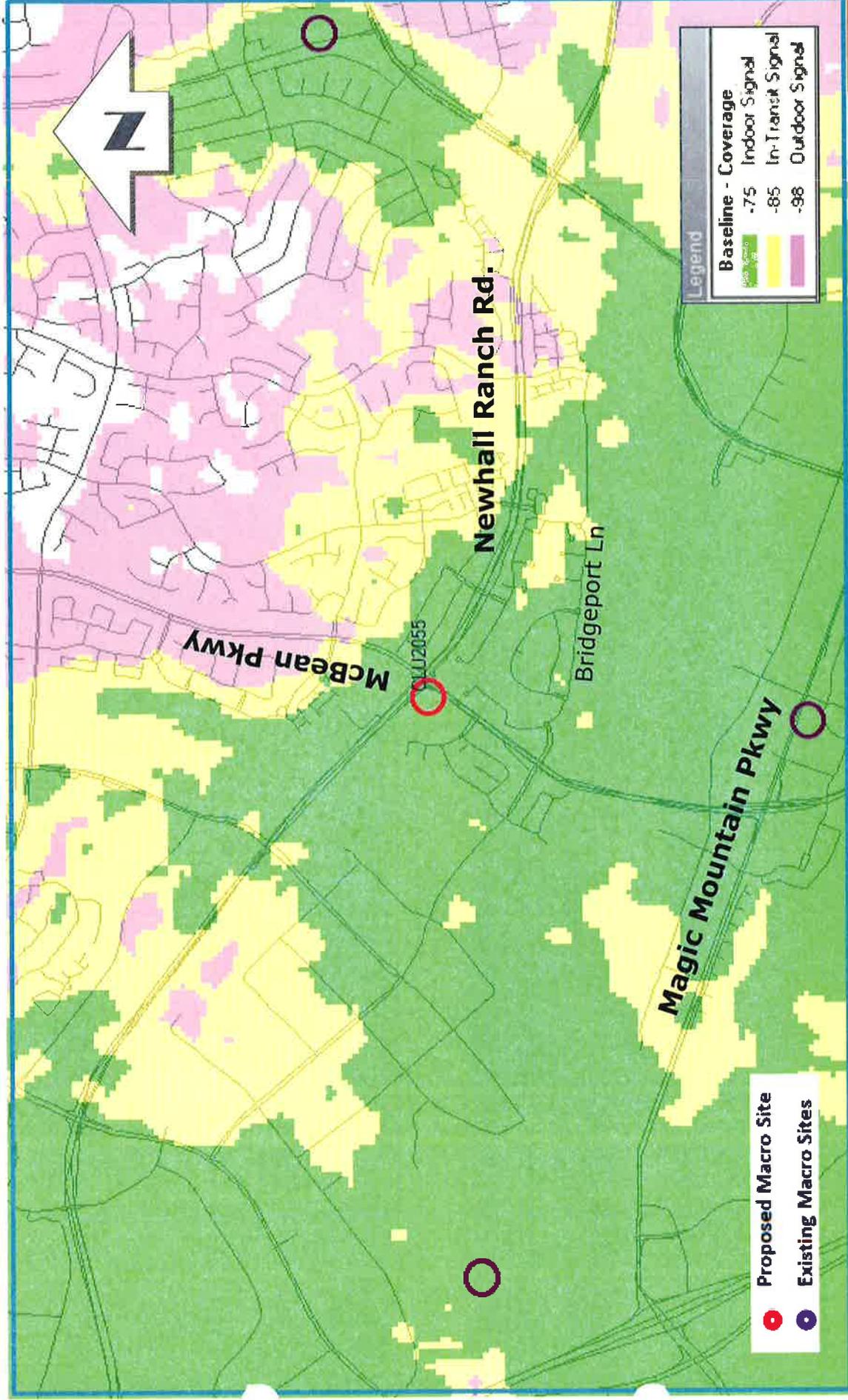


UMTS Coverage – Prior to NSB Site NL0448 Pilot Coverage – RSCP (dBm)



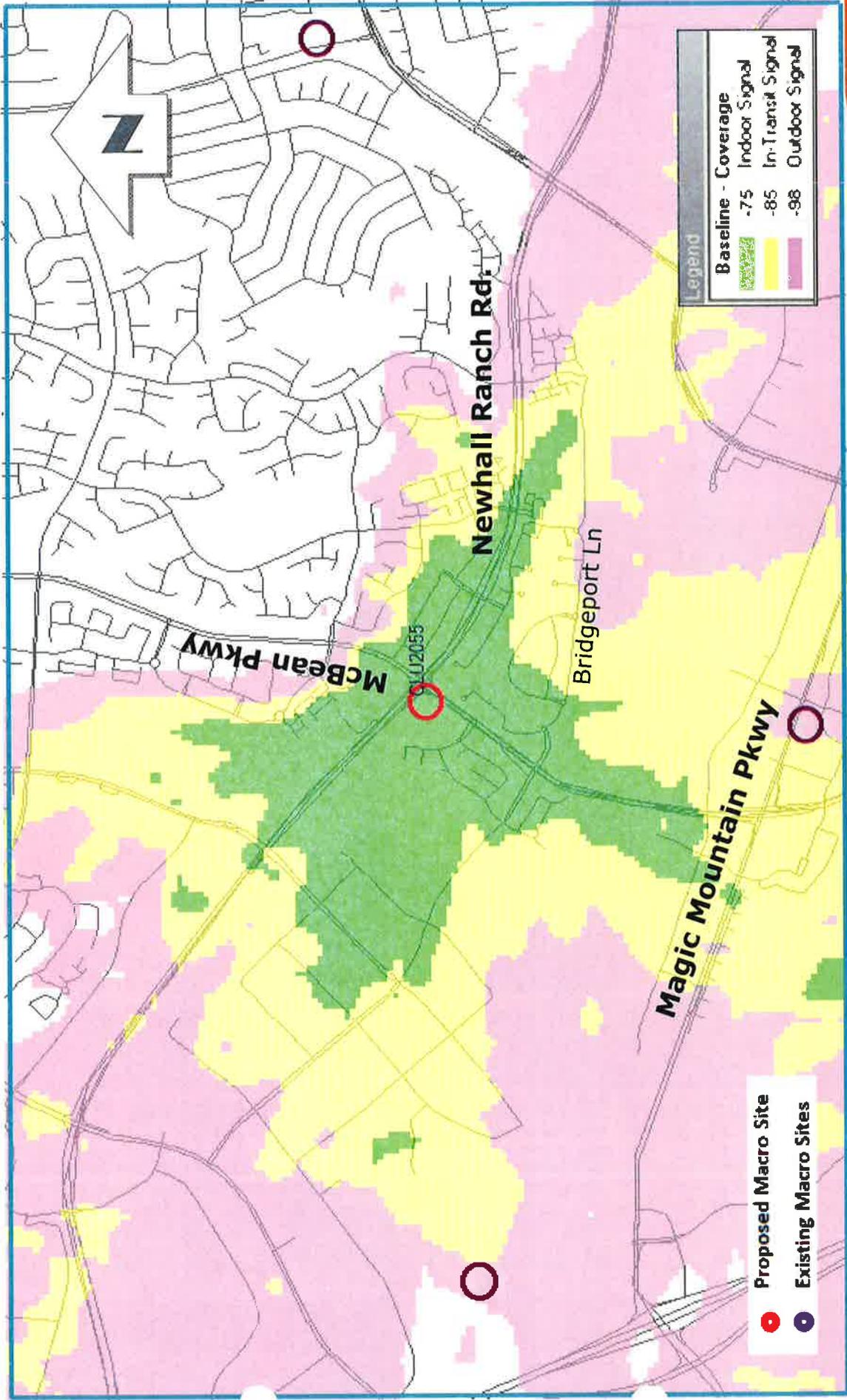
UMTS Coverage – with NL0448 and Neighboring Sites

Pilot Coverage – RSCP (dBm)



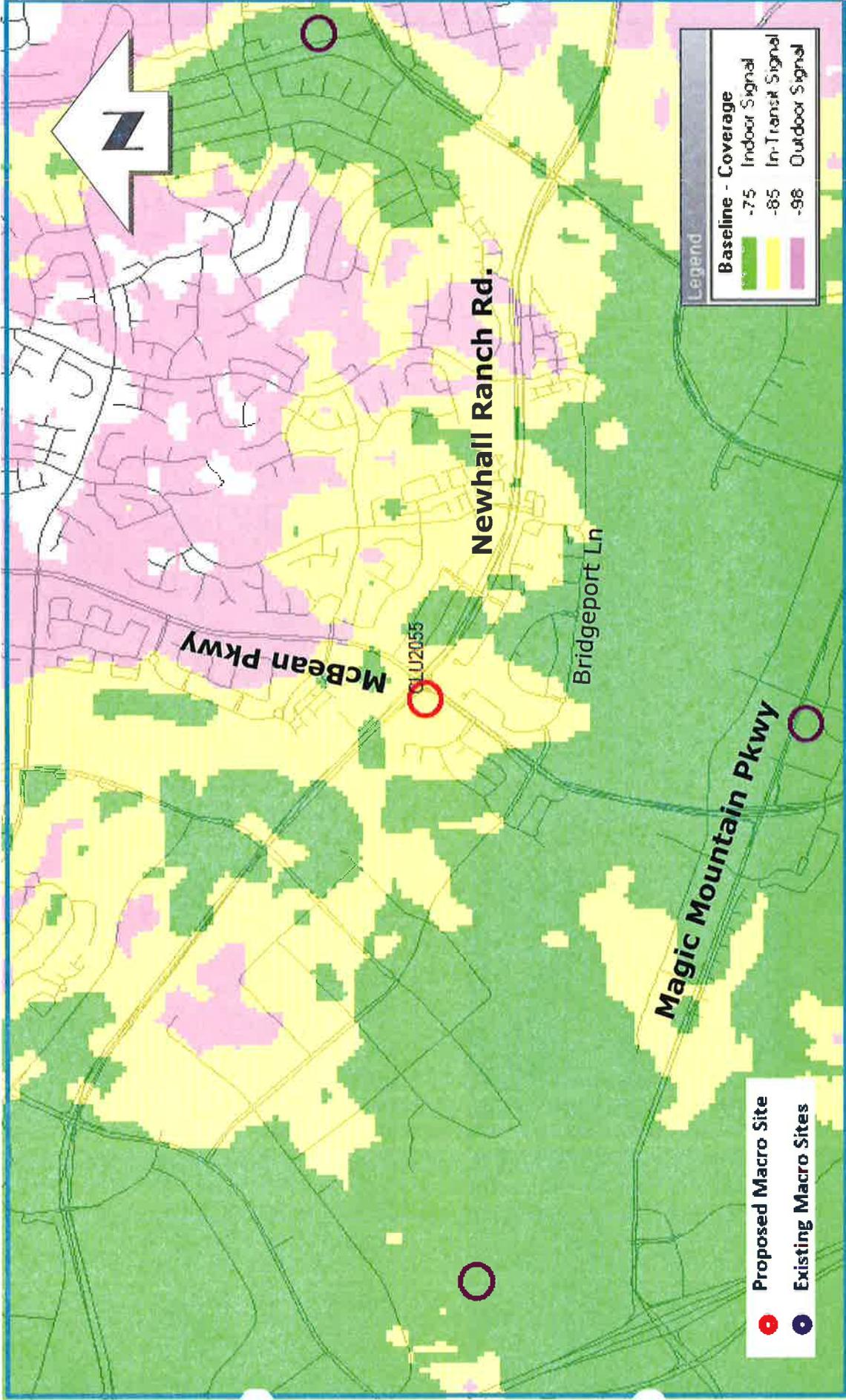
UMTS Coverage – with Site NL0448 STANDALONE

Pilot Coverage – RSCP (dBm)



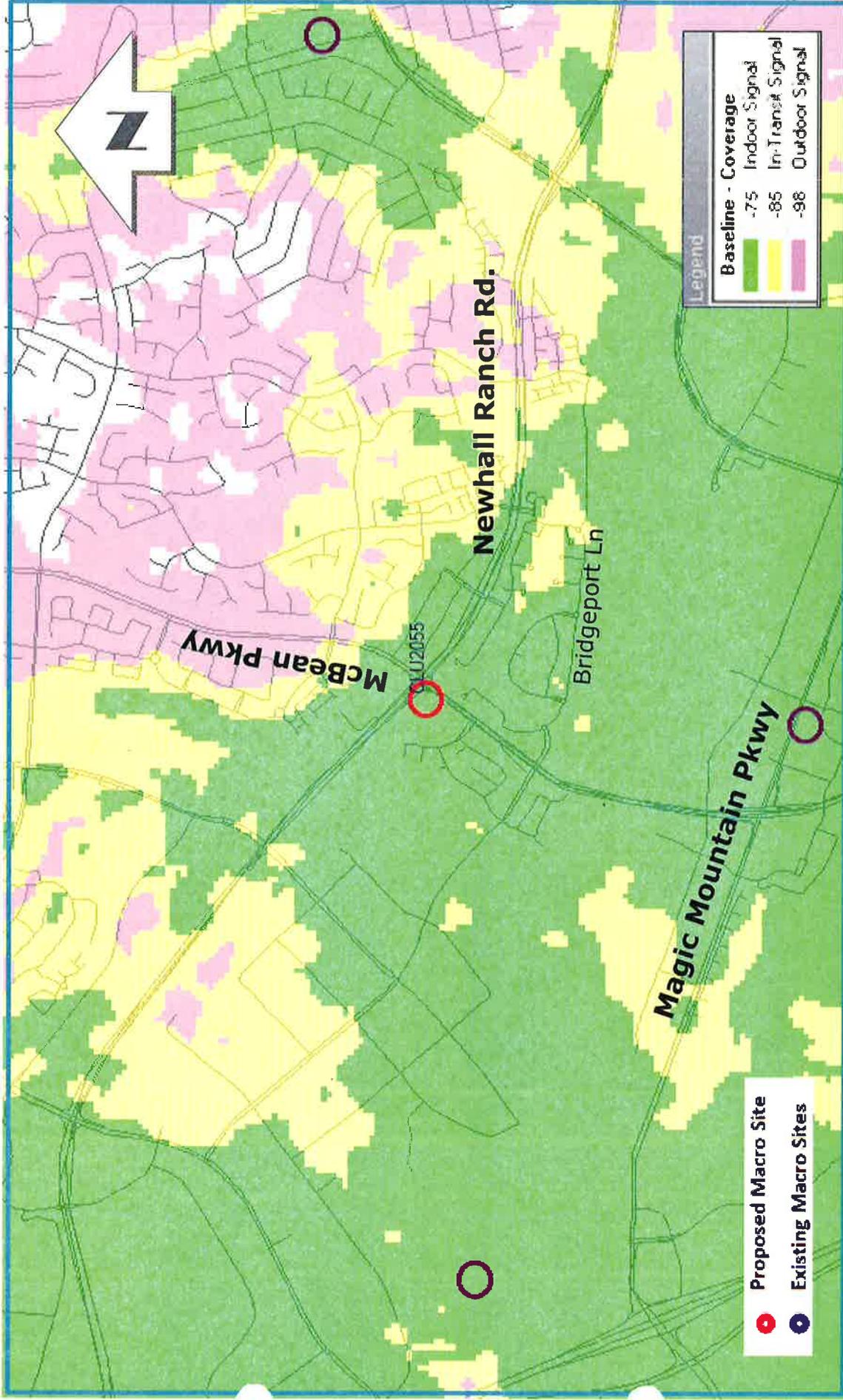
LTE Coverage – Prior to NSB Site NL0448

Pilot Coverage – RSRP (dBm)



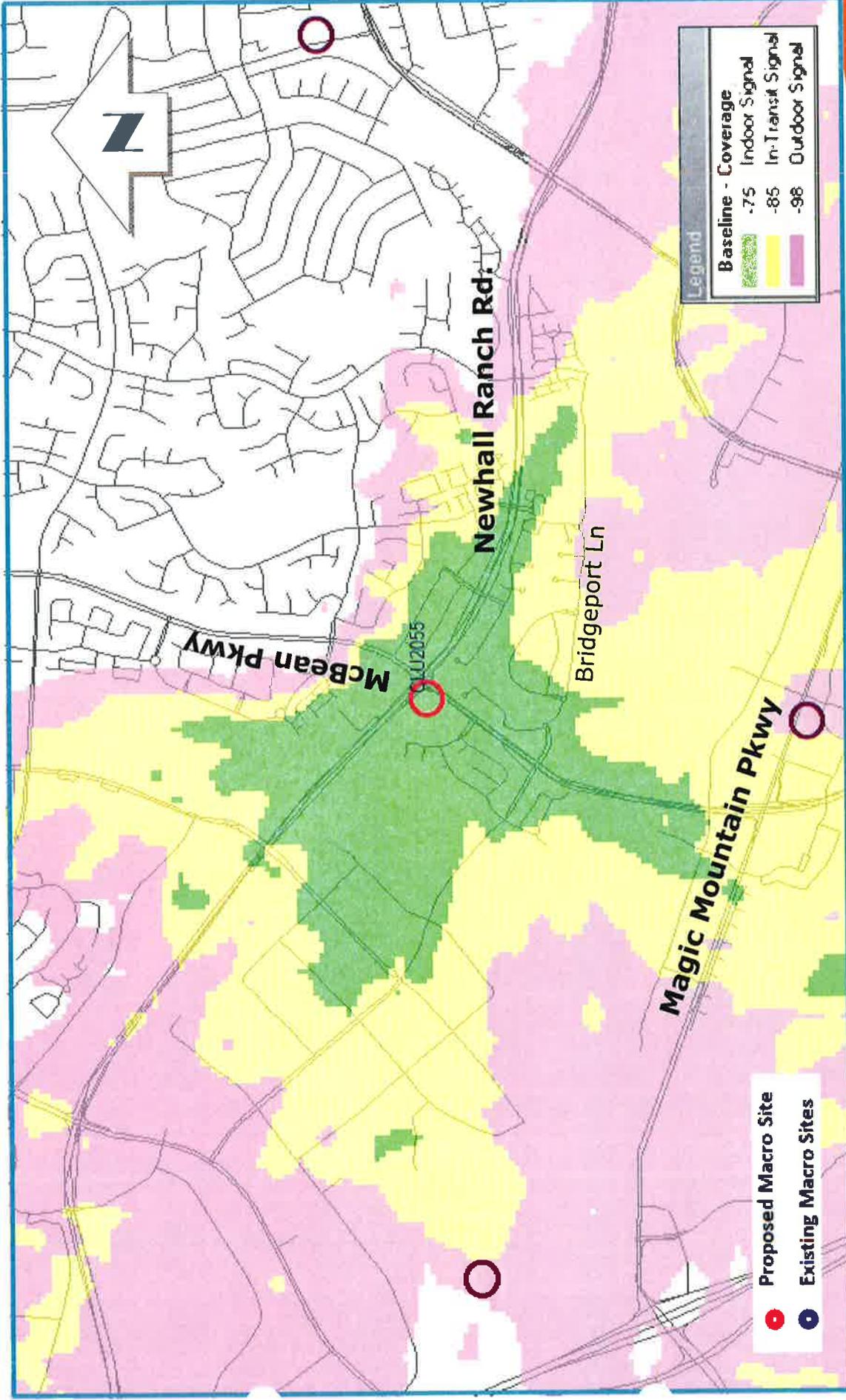
LTE Coverage – with Site NL0448 and Neighboring Sites

Pilot Coverage – RSRP (dBm)



LTE Coverage – with Site NL0448 STANDALONE

Pilot Coverage – RSRP (dBm)



November 21, 2013



CITY OF SANTA CLARITA
STAFF REPORT
MASTER CASE NO. 13-188 AND 13-198
CONDITIONAL USE PERMIT 13-015 AND 13-017

DATE: July 1, 2014

TO: Chairperson Heffernan and Members of the Planning Commission

FROM: Jeff Hogan, AICP, Planning Manager

CASE PLANNER: James Chow, Associate Planner

APPLICANTS: AT&T and Verizon Wireless

LOCATION: 24015 and 24025 Newhall Ranch Road (APN: 2811-084-001)

REQUEST: The applicants are proposing to install and operate two, co-located wireless communications facilities on the roof of the westernmost building within the Bridgeport Marketplace shopping center. Ground-mounted equipment is also proposed with the Verizon Wireless proposal, between the subject building and Newhall Ranch Road. The subject property is located in the Community Commercial (CC) zone.

BACKGROUND

Commercial Center Approval and Construction

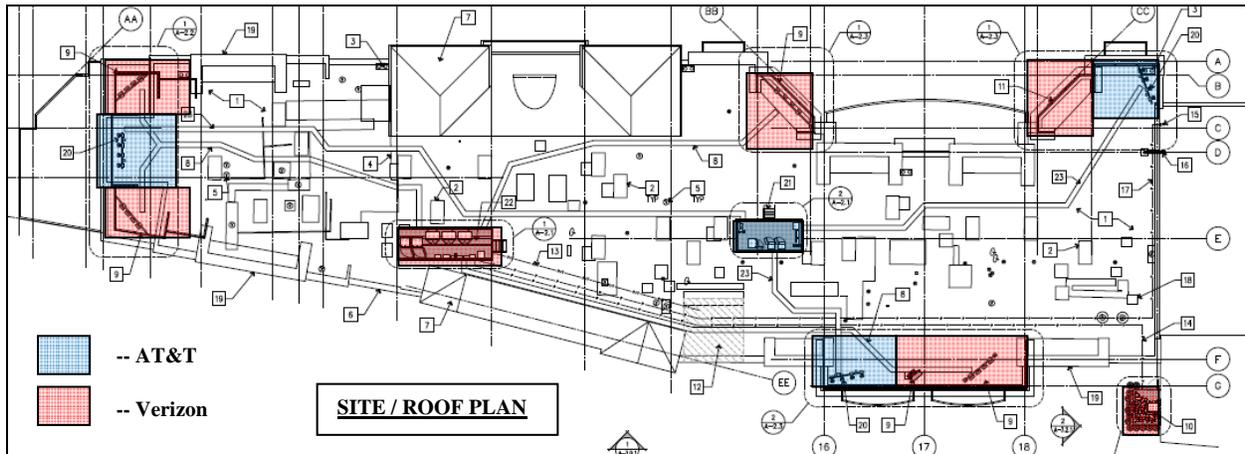
The subject wireless communications facilities are proposed to be located within the Bridgeport Marketplace commercial center, which was originally approved by the Planning Commission in December 2005 and built in 2008. The subject commercial center is generally located at the northeast corner of McBean Parkway and Newhall Ranch Road and consists of four buildings, totaling 130,000 square feet of floor area, with a building height varying from 29 feet to 35 feet.

Project Applications and Development Review

In November and December 2013, the applicants, AT&T and Verizon Wireless, submitted separate applications for a conditional use permit (CUP) to install and operate the subject wireless communications facilities on the project site. The proposed facilities have been proposed for the subject site in order to provide increased cellular coverage in the surrounding area. Cellular coverage maps depicting gaps in coverage in the surrounding area were provided by the applicants and are attached herein. The applications were deemed complete on January 30, 2014. On January 30, 2014, staff conducted a Development Review Committee (DRC) meeting with both applicants and issued preliminary design comments on the site and elevation plans. The applicants subsequently revised the applicable plans and in May 2014, re-submitted revised plans for conditional approval.

PROJECT DESCRIPTION

The applicants for the projects are proposing to co-locate and architecturally integrate their respective facilities into the subject commercial building. An exhibit and description of the proposals are provided below.



AT&T Proposal at 24025 Newhall Ranch Road (Master Case No. 13-188)

AT&T is proposing a wireless communications facility that would be mounted on the roof of the westernmost building at Bridgeport Marketplace. AT&T's proposal consists of a 200 square-foot equipment area (with two GPS antennas and equipment cabinets), three sectors of antennas (with four six-foot high antennas and eight remote radio units per sector), and parapet wall extensions to screen the equipment and antennas from public view. The parapet wall extensions, ranging between six and ten feet high, would increase the overall building height to between 35 feet and 39 feet in height.

Verizon Wireless Proposal at 24015 Newhall Ranch Road (Master Case No. 13-198)

Verizon Wireless is proposing a wireless communications facility that would be mounted on the roof of the westernmost building at Bridgeport Marketplace. Verizon's proposal consists of a 293 square-foot equipment area (with equipment cabinets), four sectors of antennas (with four seven-foot high antennas per sector), one four-foot diameter microwave dish, and parapet wall extensions to screen the equipment and antennas from public view. The parapet wall extensions, ranging between six and ten feet high, would increase the overall building height to between 35 feet and 39 feet in height. Verizon is also proposing a ground-mounted emergency generator within an 85 square-foot, eight-foot high enclosure along with peripheral landscaping, within a landscape planter area located between the subject building and Newhall Ranch Road.

GENERAL PLAN DESIGNATION AND ZONING

The General Plan and zoning designation for the subject property is Community Commercial (CC). The Community Commercial land use and zoning designation is intended for businesses

providing retail and service uses that primarily serve the local market. Other uses, such as the subject wireless communications facilities may be permitted, subject to a CUP.

The Unified Development Code (UDC) requires the approval of a CUP for any wireless communications facility that is in excess of 35 feet in height in the CC zone, in order to allow neighboring property owners the opportunity to comment on the proposal and the issuance of conditions of approval, and to ensure that such uses will not adversely impact nearby properties and residents. The following table and attached General Plan/zoning map summarize the General Plan designations, zoning, and land uses surrounding the subject property:

Subject Property: 24015 and 24025 Newhall Ranch Road (APN: 2811-084-001)

	General Plan	Zoning	Land Use
Project Site:	Community Commercial (CC)	Community Commercial (CC)	Commercial Shopping Center
North:	Urban Residential 1 (UR1)	Urban Residential 1 (UR1)	Single-Family Residential
East:	Urban Residential 3 (UR3)	Urban Residential 3 (UR3)	Multi-Family Residential
South:	Specific Plan (SP)	Specific Plan (SP)	Single-Family Residential
West:	Specific Plan (SP)	Specific Plan (SP)	Heritage Park



ANALYSIS

Aesthetics and Development Guidelines

The City's Wireless Communications Facilities Ordinance recommends that new wireless communications facilities be placed on existing structures such as the subject commercial building, that a stealth or concealed design be used, and that the new wireless facilities utilize co-location with other facilities whenever possible. The proposed projects call for two facilities to be co-located on the roof of an existing commercial building with all accessory equipment to be screened from public view, behind proposed architectural screening.

Both projects were reviewed by staff and the City's architectural design consultant, RRM Design Group, to ensure consistency with the UDC and with the City's architectural design guidelines. The antennas and equipment proposed with each project would be located behind parapet wall

extensions that are designed with the same architectural detail, colors, and textures as the subject building and architecturally integrated into the commercial building. Verizon's proposed ground-mounted enclosure would be constructed with a decorative block material with landscaping provided on all sides. By co-locating the proposed wireless communications facilities on a commercial building, fully concealing the antennas and equipment, and architecturally integrating the facilities into the building, the proposed projects fully comply with the Wireless Communications Facilities Ordinance. Provided below (and attached herein) are visual simulations, submitted by the applicant, depicting the existing and post-construction conditions.



Noise

Noise studies (attached herein) were prepared by each of the applicants for their respective proposals. The applicants conducted daytime and nighttime noise studies at the nearest residential property from each of the proposed facilities. The exhibit below reflects the location of the sound readings taken:



The table below reflects noise results taken at the nearest residential property from each of the proposed facilities and the projected post-construction sound level results for each facility. Each of the studies concludes that there would be no increase to ambient noise resulting from either project.

	Existing Condition (dBA)		Post Proposed Construction (dBA)	
	Daytime	Nighttime	Daytime (+/-)	Nighttime (+/-)
AT&T Proposal	65.7	62.2	65.7 (+0.0)	62.2 (+0.0)
Verizon Proposal	66.5	61.5	66.5 (+0.0)	61.5 (+0.0)

Federal Communications Commission Regulations

The Federal Telecommunications Act of 1996 (TCA) requires the Federal Communications Commission (FCC) to prescribe and make effective regulations governing the environmental effects of radio frequency (RF) emissions for wireless communications facilities. Local jurisdictions are preempted by the FCC under the TCA from making decisions based on environmental and health effects related to radio frequency emissions from wireless communications facilities. The proposed projects would operate in compliance with these regulations. Therefore, no potential hazard to the public’s health or safety would result from radio frequency emissions relative to the proposed wireless communications facilities.

ENVIRONMENTAL STATUS

The proposed wireless communications facilities are exempt from the California Environmental Quality Act (CEQA) under Article 19, Categorical Exemptions, Section 15301, Class 1. A Class 1 categorical exemption includes the operation, leasing, or minor alterations of existing public or

private structures or facilities. The proposals includes the co-location of two new wireless communications facilities on the roof of an existing commercial building and construction of an 85 square-foot ground-mounted enclosure adjacent to the building, which qualifies each project as a Class 1 categorical exemption.

PUBLIC NOTICE AND COMMENTS

On June 10, 2014, a notice of public hearing for each proposal was sent to all property owners within a 1,000-foot radius of the project site and to all tenants within the subject center, in accordance with Section 17.06.110(B) of the UDC. A legal notice advertising the public hearing was placed in The Signal, and a sign for each proposal was posted on the project site. To date, the Community Development Department has not received any comments related to the proposed projects.

CONCLUSION

The proposed wireless communications facilities are compatible with the kinds of uses envisioned in the CC land use designation and zone as outlined in the General Plan and the UDC. In addition, the aesthetics, noise impacts and proposed location of the facilities are consistent with the requirements of the City's Wireless Communications Facilities Ordinance. Therefore, staff has drafted the necessary findings for approval of a CUP as set forth in Section 17.25.100 of the UDC.

RECOMMENDATION

Staff recommends that the Planning Commission:

- 1) Adopt Resolution P14-10, approving Master Case No. 13-188, Conditional Use Permit 13-015, approving the proposed AT&T wireless communications facility located at 24025 Newhall Ranch Road (APN: 2811-084-001), subject to the attached conditions of approval (Exhibit A of Resolution P14-10); and
- 2) Adopt Resolution P14-11, approving Master Case No. 13-198, Conditional Use Permit 13-017, approving the proposed Verizon Wireless wireless communications facility located at 24015 Newhall Ranch Road (APN: 2811-084-001), subject to the attached conditions of approval (Exhibit A of Resolution P14-11).

ATTACHMENTS

Resolution P14-10
Conditions of Approval (Exhibit A of Resolution P14-10)
Resolution P14-11
Conditions of Approval (Exhibit A of Resolution P14-11)
Public Notices
Notices of Exemption
Aerial Map

Master Case No. 13-188 and 13-198
July 1, 2014
Page 7 of 7

Zoning / General Plan Map
Site Plan and Elevation Plan
Visual Simulations
Colors and Materials Board
Noise Studies
AT&T and Verizon Wireless Coverage Maps

S:\CD\CURRENT\2013\13-188 (CUP 13-015 AT&T)\PC\13-188 AND 13-198 STAFF REPORT.DOC

RESOLUTION NO. P14-11

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARITA
APPROVING MASTER CASE NO. 13-198, CONDITIONAL USE PERMIT 13-017, TO
ALLOW FOR THE INSTALLATION AND OPERATION OF A WIRELESS
COMMUNICATIONS FACILITY LOCATED AT 24015 NEWHALL RANCH ROAD, IN
THE CITY OF SANTA CLARITA

THE PLANNING COMMISSION OF THE CITY OF SANTA CLARITA DOES HEREBY
RESOLVE AS FOLLOWS:

SECTION 1. FINDINGS OF FACT. The Planning Commission does hereby make the following findings of fact:

- A. An application for Master Case No. 13-198 (Conditional Use Permit 13-017) was filed by Verizon Wireless (hereinafter "Applicant") with the City of Santa Clarita on December 3, 2013. The property for which this application was filed is located at 24015 Newhall Ranch Road (APN: 2811-084-001) (hereinafter "Subject Site");
- B. The application was deemed complete on January 30, 2014;
- C. The applicant proposes to install and operate a wireless communications facility on the roof of an existing commercial building on the subject site. The proposed facility includes a 293 square-foot equipment area, four sectors of antennas (with four antennas per sector) and parapet wall extensions. The proposed facility also includes a ground-mounted emergency generator within an 85 square-foot, eight-foot high enclosure;
- D. The zoning and General Plan designation for the subject site is CC (Community Commercial);
- E. The surrounding land uses include single-family residences to the north and to the south, multi-family residences to the east, and Heritage Park to the west of the subject site;
- F. On June 10, 2014, a public hearing was duly noticed for a Planning Commission meeting. A public hearing was held before the Planning Commission on July 1, 2014, at 6:00 p.m. at City Hall, Council Chambers, 23920 Valencia Boulevard, Santa Clarita; and
- G. At this public hearing, the Planning Commission considered the staff report, staff presentation, applicant's presentation, and public testimony.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDINGS. Based upon the foregoing facts and findings, the Planning Commission hereby find as follows:

- A. A Notice of Exemption for this project was prepared in compliance with the California Environmental Quality Act (CEQA);

- B. This project is exempt per Article 19: Categorical Exemptions, Section 15301 of the California Environmental Quality Act (CEQA), as a Class 1 categorical exemption. A Class 1 exemption consists of operation, leasing, or minor alterations of existing public or private structures or facilities. The proposal includes the installation and operation of a new wireless communications facilities on the roof of an existing commercial building;
- C. The documents and other materials that constitute the record of proceedings upon which the decision of the Planning Commission is based is the Master Case No. 13-198 project file and that this project file is located within the Community Development Department and is in the custody of the Director of Community Development; and
- D. Based upon the findings set forth above, the Planning Commission hereby finds the Notice of Exemption for this project has been prepared in compliance with CEQA.

SECTION 3. GENERAL FINDINGS FOR MASTER CASE NO. 13-198. Based on the foregoing facts and findings for Master Case No. 13-198, the Planning Commission hereby determines as follows:

- A. That the proposal is consistent with the General Plan;

The proposed location, size, design and operating characteristics of the proposed use are in accordance with the purpose of the City's General Plan and the development policies and standards of the City. Specifically, the Land Use Element of General Plan policy LU 4.4.4 dictates that the City work to protect and enhance public utility facilities as necessary to maintain the safety, reliability, integrity, and security of essential public service systems for all residents. As proposed, the project would improve the City's cellular coverage and service. The proposed project is also consistent with Policy N 1.1.4 of the Noise Element of the General Plan by controlling noise sources adjacent to residential development by creating no new net increases in ambient noise levels.

- B. The proposal is allowed within the applicable underlying zone and complies with all other applicable provisions of the UDC;

With the approval of a conditional use permit, the proposed project complies with the Unified Development Code, including the specific development standards outlined in the Wireless Communications Facilities Ordinance (Chapter 17.69), as set forth in Section 4, below.

- C. The proposal will not endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare, or be materially detrimental or injurious to the improvements, persons, property, or uses in the vicinity and zone in which the property is located; and

All proposed roof-mounted equipment and antennas will be located behind architectural parapet wall extensions and will be completely screened from public view. The proposed

roof-mounted and ground mounted equipment is required to comply with all building code regulations to ensure the safe and secure installation of the associated equipment and additions. The proposed wireless communications facility is required to comply with the Federal Communications Commission regulations to ensure that there is no potential hazard to the public's health or safety. Therefore, the wireless communications facility would not be detrimental to the public's health, safety, or welfare, nor would it be materially injurious to properties or improvements in the vicinity.

D. The proposal is physically suitable for the site. The factors related to the proposal's physical suitability for the site shall include, but are not limited to, the following:

- 1) The design, location, shape, size, and operating characteristics are suitable for the proposed use;

The design, location, shape, size, and operating characteristics of the proposal would be physically suitable for the subject site. A 293 square-foot equipment area and four sectors of antennas would be located on the roof of the subject building and an emergency generator would be ground-mounted and located on the south side of the subject building. The proposed facility would include architectural parapet extensions designed to be an integral part of the building, with detailing, colors, and materials to match the subject building. The overall building height would increase to between 35 and 39 feet. The increase and variation in height would be consistent with the height and massing of the other commercial structures within the commercial center.

- 2) The highways or streets that provide access to the site are of sufficient width and are improved as necessary to carry the kind and quantity of traffic such proposal would generate;

The proposed wireless communications facility would be unmanned and thus would not generate traffic or impact the physical character or capacity of surrounding streets. The wireless communications facility would not change the nature or use of the subject commercial center, nor would it affect any of the current or future uses of the subject property. Occasional maintenance would occur on site, but would not generate significant, measurable trips.

- 3) Public protection services (e.g., Fire protection, Sheriff protection, etc.) are readily available; and

The project site is located in a developed portion of the City that is served by public facilities, services, and utilities. The site is unmanned; therefore, the proposed project is not anticipated to generate significant additional demand on public facilities, services, and utilities. Furthermore, as proposed, the project would improve the city's cellular coverage and service.

- 4) The provision of utilities (e.g., potable water, schools, solid waste collection and

disposal, storm drainage, wastewater collection, treatment, and disposal, etc.) is adequate to serve the site.

The proposed wireless communications facility would be located in an existing commercial center within a developed area of the city and would have no significant effect upon the environment or natural resources. The proposed unmanned facility would not alter site drainage, does not require connection to potable water and will not produce any additional solid waste on site.

SECTION 4. WIRELESS COMMUNICATIONS FACILITIES ORDINANCE FINDINGS FOR MASTER CASE NO. 13-198. Based on the foregoing facts and findings for Master Case No. 13-198, the Planning Commission hereby determines as follows:

- A. That the proposed wireless communications facility complies with aesthetic and screening standards set forth in the Wireless Communications Facilities Ordinance;

The City's Wireless Communications Facilities Ordinance recommends that new wireless communications facilities be placed on existing structures whenever possible, that roof-mounted facilities be designed to appear as an integral part of the building, that a stealth or concealed design be used, and that all facilities be screened from public view to the extent possible. The proposal consists of roof-mounted equipment and antennas that would be located behind parapet wall extensions and would be completely screened and concealed from public view. The proposal also includes a ground-mounted emergency generator located within a block wall enclosure with landscaping on all sides. Because the proposed wireless communications facility conforms to these aesthetic standards, the proposal fully complies with the Wireless Communications Facilities Ordinance's aesthetic and screening standards.

- B. That the proposed wireless communications facility complies with siting standards set forth in the Wireless Communications Facilities Ordinance;

Applicants for new wireless communications facilities are encouraged by the City's Wireless Communications Facilities Ordinance to locate new facilities on existing buildings, structures, or communication towers whenever possible. The ordinance also encourages co-location with other wireless communications facilities and new facilities to be designed to accommodate co-location. The project includes a proposal for co-location with another cellular provider and would be located on the roof on an existing commercial building. This proposal also includes ground-mounted equipment that would be located within a block wall enclosure. The proposed facility would also be required to adhere to all minimum siting distances to habitable structures required for compliance with Federal Communications Commission regulations and standards governing the environmental effects of radio frequency emissions. Therefore, the proposal complies with the City's siting standards for new wireless communications facilities.

- C. That the proposed wireless communications facility complies with noise standards set

forth in the Wireless Communications Facilities Ordinance; and

A noise study was prepared for the proposed project with noise measurements taken during the daytime and nighttime hours at the nearest residential property to the proposed wireless communications facility. The study concludes that with the installation and operation of the proposed project, there would be no increase in ambient noise resulting from the project. The proposed project would comply with the noise standards of the Wireless Communications Facilities Ordinance.

- D. That the proposed wireless communications facility complies with development guidelines set forth in the Wireless Communications Facilities Ordinance.

The proposed wireless communications facility is in conformance with the development guidelines outlined in the Wireless Communications Facilities Ordinance because it is located on an existing commercial building, it is a stealth facility with antennas completely concealed from public view, it is co-located with another cellular facility and is designed to accommodate co-location, and it is architecturally integrated into the subject commercial building. The ground-mounted equipment would be located within a block wall enclosure with landscaping on all sides, and screened from public view.

SECTION 5. NOW, THEREFORE, BE IT RESOLVED, by the Planning Commission of the City of Santa Clarita, California, as follows:

Adopt Resolution P14-11, approving Master Case 13-198, Conditional Use Permit 13-017, to allow for the installation and operation of a wireless communications facility, located at 24015 Newhall Ranch Road (APN: 2811-084-001), subject to the attached conditions of approval (Exhibit A of Resolution P14-11).

PASSED, APPROVED, AND ADOPTED this 1st day of July, 2014.

CHARLES HEFFERNAN, CHAIRPERSON
PLANNING COMMISSION

ATTEST:

JEFF W. HOGAN, SECRETARY
PLANNING COMMISSION

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES)
CITY OF SANTA CLARITA)

I, Jeff W. Hogan, Planning Commission Secretary of the City of Santa Clarita, do hereby certify that the foregoing Resolution was duly adopted by the Planning Commission of the City of Santa Clarita at a regular meeting thereof, held on the 1st day of July, 2014 by the following vote of the Planning Commission:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

PLANNING COMMISSION SECRETARY

EXHIBIT A
RESOLUTION NO. P14-11
MASTER CASE NO. 13-198
CONDITIONAL USE PERMIT 13-017

DRAFT CONDITIONS OF APPROVAL

GENERAL CONDITIONS

- GC1. The approval of this project shall expire if not put into use within two (2) years from the date of conditional approval, unless it is extended in accordance with the terms and provisions of the City of Santa Clarita's Unified Development Code (UDC).
- GC2. The applicant may file for an extension of the conditionally approved project prior to the date of expiration. If such an extension is requested, it must be filed no later than 60 days prior to expiration.
- GC3. To the extent the use approved with this project is a different use than previously approved for the property, the prior approval shall be terminated along with any associated vested rights to such use, unless such prior approved use is still in operation, or is still within the initial pre-commencement approval period. Once commenced, any discontinuation of the use approved with this project for a continuous period of one hundred eighty (180) calendar days or more shall terminate the approval of this use along with any associated vested rights to such use. The pre-existing legal use shall not be re-established or resumed after the one hundred eight (180) day period. Discontinuation shall include cessation of a use regardless of intent to resume.
- GC4. The applicant shall be responsible for notifying the Director of Community Development, in writing, of any change in ownership, designation of a new engineer, or change in the status of the developer, within 30 days of said change.
- GC5. Unless otherwise apparent from the context, the term "applicant" shall include the applicant and any other persons, corporation, or other entity making use of this grant. The applicant shall defend, indemnify, and hold harmless the City of Santa Clarita, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attach, set aside, void, or annul the approval of this Project by the City. In the event the City becomes aware of any such claim, action, or proceeding, the City shall promptly notify the applicant, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Nothing contained in this condition prohibits the City from participating in the defense of any claim, action, or proceeding, if both of the following occur: 1) The City bears its own attorneys' fees and costs; and 2) the City defends the action in

- good faith. The applicant shall not be required to pay or perform any settlement unless the settlement is approved by the applicant.
- GC6. The property shall be developed and maintained in substantial conformance with the approvals granted by the City. Any modifications shall be subject to further review by the City.
- GC7. The applicant and property owner shall comply with all inspection requirements as deemed necessary by the City of Santa Clarita.
- GC8. The owner, at the time of issuance of permits or other grants of approval agrees to develop the property in accordance with City codes and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Code, Highway Permit Ordinance, Mechanical Code, Unified Development Code, Sanitary Sewer and Industrial Waste Ordinance, Electrical Ordinance and Fire Code.
- GC9. The applicant must sign and notarize the attached affidavit to confirm acceptance of the conditions of this grant. The notarized affidavit must then be returned to the Planning Division before occupancy.
- GC10. It is hereby declared and made a condition of this permit that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the City may commence proceedings to revoke this approval.

PLANNING DIVISION

- PL1. The applicant is hereby granted approval to install and operate an unmanned wireless communications facility on the roof of an existing building located at 24015 Newhall Ranch Road (APN: 2811-084-001). The proposed facility consists of a 293 square-foot equipment area (with equipment cabinets), three sectors of antennas (with four seven-foot high antennas per sector), and parapet wall extensions to screen the equipment and antennas. The parapet wall extensions would increase the building height to between 35 feet and 39 feet in height. The proposed facility includes a ground-mounted emergency generator within an 85 square-foot, eight-foot high, split face block enclosure.
- PL2. The wireless communications facility shall be constructed and installed in accordance with the approved site plan, elevation plan, colors and materials board and specifications on file with the Planning Division. The proposed block enclosure shall be constructed of a decorative split face material and landscaped in accordance with the approved plans. Any change in size, location or configuration shall be subject to the review of the Director of Community Development, and may require approval of the Planning Commission.
- PL3. The wireless communications facility, including all architectural parapet wall extensions, shall be designed to appear as an integral part of the building and shall

- be located to minimize visual impacts. All screening and architectural additions shall match the architecture, texture, detail, and color of the building and be constructed of like materials and colors, to the satisfaction of the Director of Community Development.
- PL4. All roof-mounted equipment, including cabinets or similar equipment, shall be fully screened from public view with screen walls (all 4 sides) that are compatible with the existing building in terms of architecture, material, detail, color, and texture.
- PL5. In the event that the co-applicant (AT&T, Master Case No. 13-188) for the proposed co-located wireless communications facilities does not pursue construction of its proposed facility, the applicant shall be responsible for constructing the common parapet screen walls to its ultimate design proposal, as shown on the approved plans.
- PL6. Within 30 days of notification by the City or any other affected agency of maintenance concerns regarding the approved wireless communications facility, the applicant shall remedy said concern to the satisfaction of the Director.
- PL7. All requirements of the Unified Development Code (UDC) and specific zoning for the subject property shall be complied with unless set forth in this permit and shown on the approved site plan.
- PL8. All antennas shall meet the minimum siting distances to habitable structures required for compliance with Federal Communications Commission (FCC) regulations and standards governing the environmental effects of radio frequency emissions.
- PL9. The proposed wireless communication facility shall conform to all standards and guidelines of the UDC including Chapter 17.69 (Wireless Communication Facilities and Satellite Dish Antennas).
- PL10. The wireless communications facility shall not bear any signs or advertising devices other than certification, warning, or required signage. All required seals and signage shall be obscured by building and screening design when, and as much as, possible.
- PL11. All wire or cable necessary for operation of the facility including reception shall be screened from view and/or placed underground or buried as part of construction.
- PL12. Necessary equipment for the proposed project shall be located in a locked or otherwise secured area that is not accessible to unauthorized persons. All wireless communications facilities shall be designed to prevent unauthorized climbing.

- PL13. The wireless communications facility shall not restrict access to any existing antenna or potential future antenna location which could be used either by the permittee or by another provider.
- PL14. If the wireless communications facility becomes inoperative or is abandoned for six months, the applicant shall dismantle and remove the facility no later than ninety (90) days after that six-month period.
- PL15. The operation of the facility shall not cause interference with any electrical equipment in the surrounding neighborhoods, including television, radio, telephone or computer use, nor may the antenna create harmful interference between any other telecommunication facilities, including City-owned communication facilities.
- PL16. All facilities shall comply with City adopted noise standards. All equipment, including accessory equipment shall comply with the City's noise standards as set forth in the City's noise ordinance. If necessary, equipment shall be replaced or modified with noise dampening materials or techniques to come into compliance with City standards. The proposed project shall result in no net increase to the existing ambient noise levels on the subject property and comply with the City of Santa Clarita's Noise Ordinance.
- PL17. Prior to issuance of building permits, the applicant shall comply with all applicable regulations and fees of affected agencies.

ENGINEERING/DEVELOPMENT SERVICES DIVISION

- EN1. Prior to issuance of building permits, the applicant shall obtain a notarized Letter of Permission from the property owner for construction of the proposed facility and record an access easement.
- EN2. Prior to any construction, trenching, or grading within public street right-of-way, the applicant shall obtain encroachment permits from the Development Services Division.
- EN3. Prior to any construction, trenching, or grading within any existing recorded easements, the applicant shall obtain written permission/approval(s) from the respective public or private entity.
- EN4. This project will disturb less than one acre of land. Therefore, the project is subject to the following minimum construction requirements:
- a) Sediments from areas disturbed by construction shall be retained on site, using structural drainage controls to the maximum extent practicable, and stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, drainage facilities, or adjacent properties via runoff, vehicle tracking, or wind.

- b) Construction-related materials, wastes, spills or residues shall be retained on site to minimize transport from the site to streets, drainage facilities, or adjoining properties by wind or runoff.
- c) Runoff from equipment and vehicle washing shall be contained at construction sites unless treated to remove sediments and pollutants.

BUILDING AND SAFETY DIVISION

- BS1. Detailed construction plans for the wireless communications facility shall be submitted to the Building and Safety Division for plan review and building permit issuance. Supporting documentation, such as structural calculations, energy calculations, and soil/geology reports shall be included in the plan submittal package.
- BS2. Plans submitted for plan review shall show full compliance with the California Building Codes in effect at the time the plans and building permit application are submitted. The current California codes are: 2013 California Building, Mechanical, Plumbing, and Electrical Codes, and the 2010 California Energy Code.
- BS3. Plans submitted to Building and Safety for plan review shall be 100% complete. Plans submitted shall show all work being performed for this project including architectural, structural, mechanical, electrical and plumbing. Plans shall be prepared by a licensed design professional (architect or engineer).
- BS4. For the building-mounted equipment, cupolas and screen walls, the applicant shall provide a complete vertical and lateral analysis and submit structural calculations and details for attachment of all new equipment and/or structures to the roof and/or walls of existing buildings. Plans shall include full structural details imposed by the new roof-mounted cupolas down to the foundation of the existing building.
- BS5. Submitted plans shall be stamped and signed by a California licensed architect or engineer qualified to design the type of work proposed.
- BS6. Prior to submitting plans to Building and Safety for plan review, the applicant shall contact Deanna Hamrick or Racheal Allen, at (661) 255-4935, for project addressing or address verification.
- BS7. Any structures proposed in an easement shall obtain written permission from the easement holder(s).
- BS8. All buildings, walls, fences, retaining walls and other structures shall be set back from the adjacent ascending or descending slopes per section 1805.3 CBC.

- BS9. Prior to issuance of building permits, clearances from other agencies may be required. The applicant shall contact Building and Safety for the agency clearances required for this project.
- BS10. These conditions are based on a review of preliminary plans submitted by the applicant. Additional conditions and more detailed building code requirements will be listed during the plan review process when plans are submitted to Building and Safety.

ENVIRONMENTAL SERVICES

- ES1. All demolition projects regardless of valuation and renovation projects valued greater than \$100,000 must comply with the City's Construction and Demolition Materials (C&D) Recycling Ordinance.
- ES2. The applicant shall comply with the C&D Recycling Ordinance and the following:
- a) A Construction and Demolition Materials Management Plan (C&DMMP) must be prepared and approved by the Environmental Services Division prior to obtaining any grading or building permits.
 - b) A minimum of 50% of the entire project's inert (dirt, rock, bricks, etc.) waste and 50% of the remaining C&D waste must be recycled or reused rather than disposing in a landfill.
 - c) A deposit of 3% of the estimated total project cost or \$25,000, whichever is less, is required. The full deposit will be returned to the applicant upon proving that 50% of the inert and remaining C&D waste was recycled or reused.
- ES3. Per the California Green Building Standards Code, 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a phased project, such material may be stockpiled on site until the storage site is developed.
- ES4. All projects within the City that are not self-hauling their waste materials shall use one of the City's franchised haulers for temporary and roll-off bin collection services. The applicant may contact Environmental Services staff at (661) 286-4098 for a complete list of franchised haulers in the City.



CITY OF SANTA CLARITA
COMMUNITY DEVELOPMENT DEPARTMENT
23920 Valencia Boulevard, Suite 302
Santa Clarita, CA 91355

NOTICE OF PUBLIC HEARING

APPLICATION: Master Case No. 13-198, Conditional Use Permit 13-017
PROJECT APPLICANT: Verizon Wireless
PROJECT LOCATION: 24015 Newhall Ranch Road; APN 2811-084-001 (Bridgeport Marketplace)

PROJECT DESCRIPTION: The applicant is requesting approval of a Conditional Use Permit (CUP) to allow for the installation and operation of a new wireless communications facility on the roof of the westernmost building at the Bridgeport Marketplace commercial center. Verizon's proposal consists of a 293 square-foot equipment area, four sectors of antennas (four antennas per sector), one four-foot diameter microwave dish, and parapet wall extensions to screen the equipment and antennas. The antennas would be seven feet in height and located behind parapet wall extensions that would be eight feet in height. The existing height of the building ranges between 29 feet and 35 feet and would be increased at the proposed parapet wall extensions to up to 39 feet in height, thus requiring a CUP. Verizon is also proposing a ground-mounted emergency generator within an 85 square-foot, eight-foot high enclosure on the south side of the building along Newhall Ranch Road. The subject property is zoned CC (Community Commercial).

The City of Santa Clarita Planning Commission will conduct a public hearing on this matter on the following date:

DATE: Tuesday, July 1, 2014
TIME: At or after 6:00 p.m.
LOCATION: City Hall, Council Chambers
23920 Valencia Blvd., First Floor
Santa Clarita, CA 91355

A NOTICE OF EXEMPTION was prepared for the proposed project. The project is exempt from the California Environmental Quality Act (CEQA) under Article 19 Categorical Exemptions, Section 15301, Class 1. A Class 1 exemption consists of minor alterations of existing public or private structures and facilities involving negligible or no expansion of an existing use.

If you wish to challenge the action taken on this matter in court, you may be limited to raising only those issues you or someone else raised at the public hearings described in this notice, or written correspondence delivered to the City of Santa Clarita at, or prior to, the public hearings. If you wish to have written comments included in the materials the Planning Commission receives prior to the public hearing, it must be submitted to the Community Development Department by Friday, June 20, 2014.

For further information regarding this proposal, you may contact the project planner at the City of Santa Clarita, Permit Center, 23920 Valencia Blvd., Suite 140, Santa Clarita, CA 91355. Telephone: (661) 255-4330. Website: www.santa-clarita.com/planning. Send written correspondence to: 23920 Valencia Blvd., Suite 302, Santa Clarita, CA 91355. Project Planner: James Chow, Associate Planner, jchow@santa-clarita.com.

Jeff W. Hogan, AICP, Planning Manager

Published: The Signal, June 10, 2014



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NOTICE OF EXEMPTION



TO: FROM:

County Clerk
County of Los Angeles
12400E Imperial Hwy., Rm. 2001
Norwalk, CA 90650

Office of Planning and Research
1400 Tenth Street
Sacramento, CA 95814

City of Santa Clarita
Community Development
23920 Valencia Boulevard, Suite #302
Santa Clarita, CA 91355

DATE: July 2, 2014

PROJECT NAME: Master Case No. 13-198: CUP 13-017

PROJECT APPLICANT: Verizon Wireless

PROJECT LOCATION: 24015 Newhall Ranch Road (APN: 2811-084-001)

PROJECT DESCRIPTION: The applicant is proposing a wireless communications facility that would be mounted on the roof of the westernmost building at Bridgeport Marketplace. Verizon's proposal consists of a 293 square-foot equipment area (with equipment cabinets), four sectors of antennas (with four seven-foot high antennas per sector), one four-foot diameter microwave dish, and parapet wall extensions to screen the equipment and antennas from public view. The parapet wall extensions, ranging between six and ten feet high, would increase the overall building height from 29 feet to up to 39 feet in height. Verizon is also proposing a ground-mounted emergency generator within an 85 square-foot, eight-foot high enclosure, along with peripheral landscaping on the south side of the subject building. The property is zoned CC (Community Commercial).

This is to advise that the Director of Community Development Planning Commission City Council of the City of Santa Clarita has approved the above project on July 1, 2014. Review of the project by the Department of Community Development found that the project is exempt from the provisions of the California Environmental Quality Act.

EXEMPT STATUS: California Environmental Quality Act under Article 19 Section 15301, the project is exempt under Class 1. Class 1 categorical exemptions include the operation, leasing, or minor alterations of existing public or private structures or facilities.

Person or agency carrying out the project: City of Santa Clarita, Community Development Department

This is to certify that the Notice of Exemption with comments/responses and record of project approval is available for public review at:

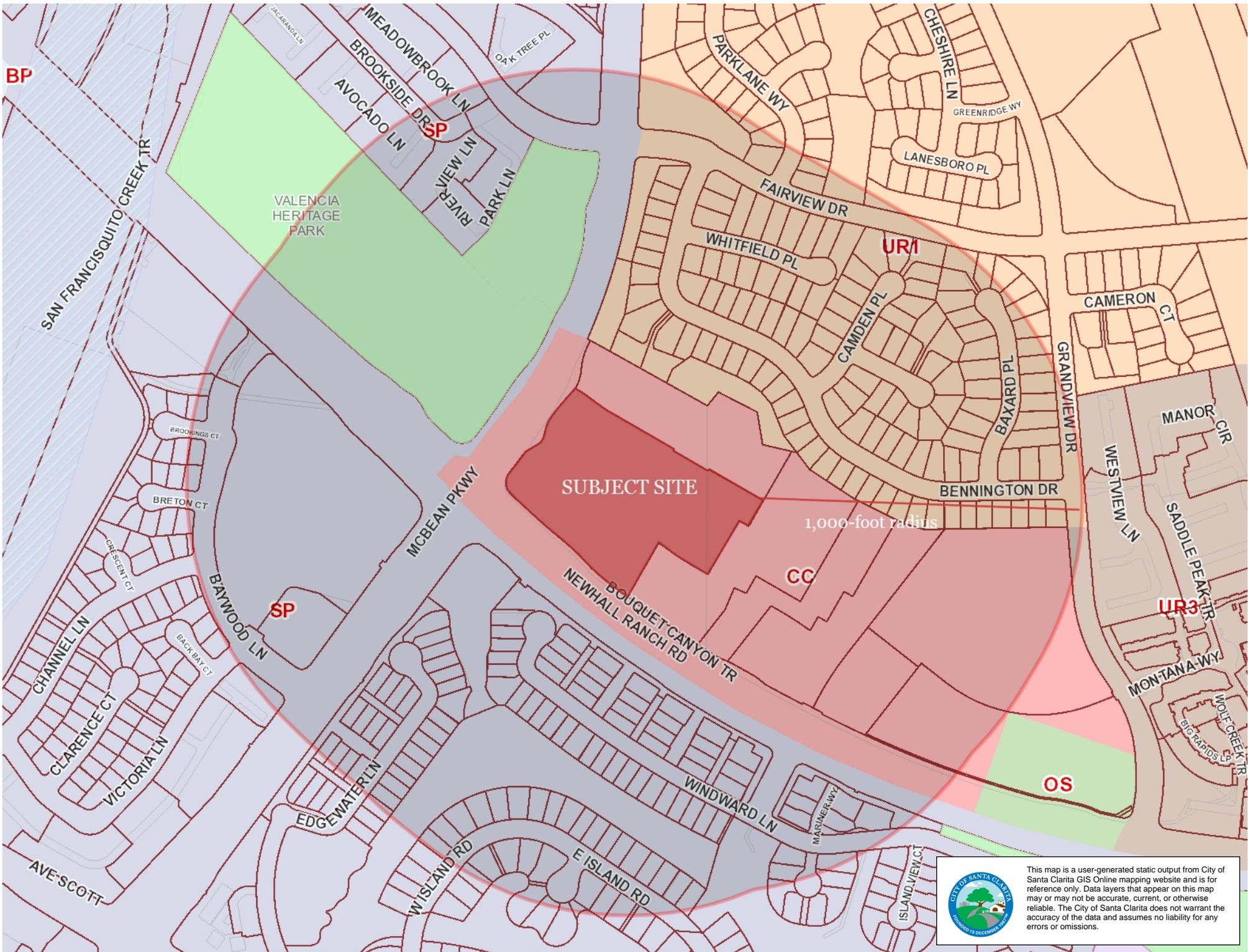
City of Santa Clarita
Community Development Department
23920 Valencia Boulevard, Suite 302
Santa Clarita, California 91355
(661) 255-4330

Contact Person/Title: James Chow, Associate Planner

Signature: _____



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CODE COMPLIANCE ** NOTE: ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THESE CODES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

1. 2013 CALIFORNIA ADMINISTRATIVE CODE (CAC)	5. 2010 CALIFORNIA ENERGY CODE (2008 EDITION CALIFORNIA ENERGY COMMISSION BUILDING ENERGY EFFICIENCY STANDARDS)
2. 2013 CALIFORNIA BUILDING CODE (CBC), VOLUMES 1, AND 2 (2012 EDITION INTERNATIONAL BUILDING CODE WITH 2013 CALIFORNIA AMENDMENTS)	6. 2013 CALIFORNIA FIRE CODE (CFC) (2012 EDITION OF INTERNATIONAL FIRE CODE WITH 2010 CALIFORNIA AMENDMENTS)
3. 2013 CALIFORNIA ELECTRICAL CODE (2011 EDITION NATIONAL ELECTRICAL CODE WITH 2013 CALIFORNIA AMENDMENTS)	7. 2013 CALIFORNIA GREEN CODE
4. 2013 CALIFORNIA MECHANICAL CODE (CMC) (2012 EDITION IAPMO UNIFORM MECHANICAL CODE WITH 2013 CALIFORNIA AMENDMENTS)	8. 2013 CALIFORNIA REFERENCES STANDARDS CODE

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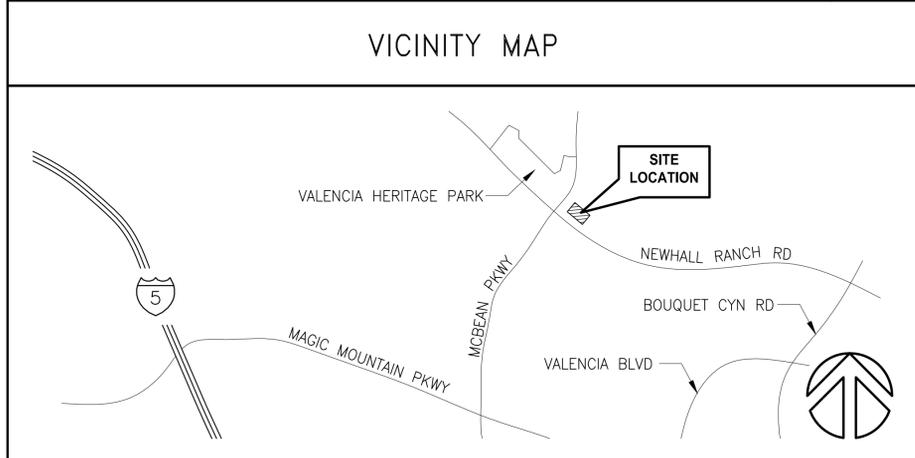


**SITE NAME: MCBEAN-BRIDGEPORT
NUMBER: NL0448.2**

SITE NAME: BRIDGEPORT

PROJECT INFORMATION (AT&T)	
SCOPE OF WORK:	AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF: 1. (12) AIR ANTENNAS BEHIND FRP SCREENING ON EXISTING BUILDING 2. (24) REMOTE RADIO UNITS AT ANTENNA AREA 3. (6) DC SURGE SUPPRESSORS AT ANTENNA AREA 4. 10'x20' STEEL PLATFORM AT ROOFTOP 5. OUTDOOR EQUIPMENT ON STEEL PLATFORM 6. POWER AND TELCO PANELS ON STEEL PLATFORM 7. (2) GPS ANTENNAS AT EQUIPMENT AREA 8. POWER, TELCO AND FIBER RUNS
APPLICANT:	AT&T MOBILITY SERVICES 12900 PARK PLAZA DRIVE CERRITOS, CA 90703
CONTACT:	RENIA BOUDAGHIAN (562) 207-8487
SITE ACQUISITION:	ISIAH IREYS (714) 793-6973
ZONING:	VANCE POMEROY (661) 361-5619
RF ENGINEER:	SANDEEP MANGAT (540) 815-6789
LATITUDE (NAD83):	34° 25' 50.90" N
LONGITUDE (NAD83):	118° 33' 20.47" W
LATITUDE (NAD83):	34° 25' 50.57" N
LONGITUDE (NAD83):	118° 33' 21.93" W
LATITUDE (NAD83):	34° 25' 52.23" N
LONGITUDE (NAD83):	118° 33' 23.77" W

PROJECT INFORMATION (VERIZON)	
SCOPE OF WORK:	AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF: 1. (16) PANEL ANTENNAS BEHIND NEW FRP SCREENING ON EXISTING BUILDING 2. (1) MICROWAVE ANTENNA MOUNTED BEHIND NEW SCREENS 3. (5) EQUIPMENT CABINETS ON NEW RAISED PLATFORM ON EXISTING BUILDING ROOFTOP 4. (4) TMA'S AT ANTENNA AREA 5. (8) RRU'S AT ANTENNA AREA 6. (1) PERMANENT DC GENERATOR WITH FUEL TANK WITHIN A SPLIT FACE CMU WALL ENCLOSURE AT GROUND LEVEL 7. POWER, TELCO AND FIBER/COAX RUNS
APPLICANT:	VERIZON WIRELESS 15505 SAND CANYON AVENUE BUILDING D, FIRST FLOOR IRVINE, CALIFORNIA 92618
CONTACT:	PROPERTY MANAGER (949) 286-7000



AT&T SITE ADDRESS:	24025 NEWHALL RANCH ROAD SANTA CLARITA, CA 91355	PROPERTY INFORMATION:	
VERIZON SITE ADDRESS:	24015 NEWHALL RANCH ROAD SANTA CLARITA, CA 91355	PROPERTY OWNER:	BRIDGEPORT MARKETPLACE LLC
BUILDING SUMMARY:		ADDRESS:	28338 CONSTELLATION ROAD #900 SANTA CLARITA, CA 91355
OCCUPANCY:	MIXED (B, M, S-2)	CONTACT:	CHRIS HAILSTONE (661) 702-2333
TYPE OF CONSTRUCTION:	V-A (UNMANNED TELECOM)	ELEVATION (NAVD88):	1128 FT A.M.S.L.
ZONING:	COMMUNITY COMMERCIAL (CC)	APN:	2811-084-001
JURISDICTION:	CITY OF SANTA CLARITA	LEASE AREA (AT&T):	200.0 SQ. FT.
ACCESSIBILITY REQ'D:	UNMANNED TELECOMMUNICATIONS FACILITY AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS NOT REQUIRED.	LEASE AREA (VERIZON):	293.0 SQ. FT.

LEGAL DESCRIPTION:
PARCELS 1 TO 5 OF PARCEL MAP NO. 63295, IN THE CITY OF SANTA CLARITA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 346, PAGES 26 TO 32, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM ALL OIL, OIL RIGHTS, MINERALS MINERAL RIGHTS, NATURAL GAS RIGHTS AND OTHER HYDROCARBONS BY WHATSOEVER NAME KNOWN, GEOTHERMAL STEAM AND ALL PRODUCTS DERIVED FROM ANY OF THE FOREGOING, THAT MAY BE WITHIN OR UNDER THE REAL PROPERTY REFERRED TO ABOVE, TOGETHER WITH THE PERPETUAL RIGHT OF DRILLING, MINING, EXPLORING AND OPERATING THEREFOR AND STORING IN AND REMOVING THE SAME FROM SUCH REAL PROPERTY OR ANY OTHER PROPERTY, INCLUDING THE RIGHT TO WHIPSTOCK OR DIRECTIONALLY DRILL AND MINE FROM PROPERTIES OTHER THAN THE REAL PROPERTY REFERRED TO ABOVE, OIL OR GAS WELLS, TUNNELS AND SHAFTS INTO, THROUGH OR ACROSS THE SUBSTANCE OF THE REAL PROPERTY REFERRED TO ABOVE, AND TO THE BOTTOM SUCH WHIPSTOCKED OR DIRECTIONALLY DRILLED WELLS, TUNNELS AND SHAFTS UNDER AND BENEATH OR BEYOND THE EXTERIOR LIMITS THEREOF, AND TO REDRILL, RETURNEL, EQUIP, MAINTAIN, REPAIR, DEEPEN, AND OPERATE ANY SUCH WELLS OR MINES WITHOUT, HOWEVER, THE RIGHT TO DRILL, MINE, STORE, EXPLORE OR OPERATE THROUGH THE SURFACE OF THE REAL PROPERTY REFERRED TO ABOVE OR THE UPPER 500 FEET OF THE SUBSURFACE OF SUCH REAL PROPERTY, RESERVED BY DEED RECORDED OCTOBER 28, 2005, AS INSTRUMENT NO. 05-2606707, OFFICIAL RECORDS OF SAID COUNTY.

FOR COMPLETE LEGAL DESCRIPTION, PLEASE SEE SHEET LS-1, TOPOGRAPHIC SURVEY

DCI PACIFIC
A|E|C WORKS
ARCHITECTURE | ENGINEERING | CONSULTING
32 EXECUTIVE PARK | SUITE 110 | IRVINE | CA 92614
T 949 475.1000 | 949 475.1001 F

VeloTera
SERVICES, Inc.
7431 LAMPSON AVENUE
GARDEN GROVE, CA 92841

NL0448.2
MCBEAN-BRIDGEPORT
24015 & 24025 NEWHALL RANCH ROAD
SANTA CLARITA, CA 91355

at&t
Mobility
12900 PARK PLAZA DRIVE
CERRITOS, CA 90703

verizon wireless
15505 Sand Canyon Avenue Building D, 1st Floor
Irvine, California 92618
(949) 286-7000

NO.	DATE	REVISIONS	BY	CHK	APP'D
2	05/30/14	INCORPORATED PLANNING DEPT. COMMENTS	FV	BOK	DKD
1	04/17/14	COMBINED AT&T AND VERIZON ZD'S	FV	BOK	DKD
0	11/26/13	ISSUED FOR ZONING PERMIT (100% ZD)	FV	BOK	DKD
A	10/22/13	ISSUED FOR ZD REVIEW AND COMMENT (90% ZD)	FV	BOK	DKD

SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE	SHEET NUMBER
TITLE SHEET	T-1.0



12841 Newport Avenue
Tustin, California 92780-2711
(714) 665-9500
Fax (714) 665-9501

PREPARED BY:
BERT HAZE
AND ASSOCIATES, INC.
LAND SURVEYING & MAPPING
3188 AIRWAY AVENUE, SUITE K1
COSTA MESA, CALIFORNIA 92626
714 557-1567 OFFICE
714 557-1568 FAX
JN. 728.245

APPLICANT



15505 Sand Canyon Avenue
Building D, 1st Floor
Irvine, California 92618
(949) 286-7000

SITE INFORMATION

Bridgeport

Marketplace
24015 Newhall Ranch Road
Santa Clarita, California 91354

APPROVALS

DEPARTMENT	INITIALS	DATE
LANDLORD:		
ZONING:		
VZW SITE ACQ:		
VZW RF:		
VZW INTERCONNECT:		
VZW UTILITY COORD:		
VZW CONST. MGR:		
VZW PROJ. MGR:		

REVISIONS

△	Description	Date
1	ISSUED FOR REVIEW (RF)	09/19/13
2	ADDED TITLE INFO. (JA)	10/01/13

Job Number: JN. 728.245
Scale: 1" = 40'
Drawn By: RF
Checked By: CWW

SHEET TITLE

TOPOGRAPHIC SURVEY

LS-1

AREA:
17.50± ACRES PER LOS ANGELES COUNTY ASSESSOR

BENCH MARK REFERENCE:
U.S.G.S. BENCH MARK "BM 1125"
UNITED STATES GEOLOGICAL SURVEY BENCH MARK "BM 1125"
AS SHOWN ON THE "NEWHALL" 7.5 MINUTE QUADRANGLE MAP.

ELEVATION: 1,127.5 FEET A.M.S.L. (NAVD88) (DATUM VERIFIED IN FIELD TO BE WITHIN 1-A ACCURACY STANDARDS)

TITLE REPORT IDENTIFICATION:
COMMONWEALTH LAND TITLE COMPANY, PRELIMINARY TITLE REPORT NO. 08020265, DATED AS OF AUGUST 21, 2013.

TITLE REPORT IDENTIFICATION:
COMMONWEALTH LAND TITLE COMPANY, PRELIMINARY TITLE REPORT NO. 08020265, DATED AS OF AUGUST 21, 2013.

EASEMENT NOTES:
EASEMENT(S) SHOWN HEREON ARE PER COMMONWEALTH LAND TITLE COMPANY, PRELIMINARY TITLE REPORT NO. 08020265, DATED AS OF AUGUST 21, 2013.

- AN EASEMENT GRANTED TO COUNTY OF LOS ANGELES FOR SANITARY SEWER, RECORDED DECEMBER 4, 1987, AS INSTRUMENT NO. 87-1921327, OFFICIAL RECORDS. (ABANDONED BY TRACT MAP NO. 44481, M.B. 1115/28-48)
- AN EASEMENT GRANTED TO COUNTY OF LOS ANGELES FOR SANITARY SEWER, RECORDED FEBRUARY 12, 1993, AS INSTRUMENT NO. 93-274460, OFFICIAL RECORDS. (GENERAL ESMTS. EXACT LOCATION NOT GIVEN IN DOCUMENTS, AND DRAINAGE, DOES NOT APPLY)
- COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS, RECORDED MARCH 15, 1989, AS INSTRUMENT NO. 89-387831, OFFICIAL RECORDS. MODIFICATION RECORDED FEBRUARY 12, 1993, AS INSTRUMENT NO. 93-274460, OFFICIAL RECORDS. (GENERAL ESMTS. EXACT LOCATION NOT GIVEN IN DOCUMENTS, AND DRAINAGE, DOES NOT APPLY)
- AN EASEMENT GRANTED TO CITY OF SANTA CLARITA FOR PUBLIC STREET, RECORDED SEPTEMBER 20, 1999, AS INSTRUMENT NO. 99-1785932, OFFICIAL RECORDS. (CONTAINED WITHIN NEWHALL RANCH RD.)
- AN EASEMENT FOR FLOOD CONTROL, SHOWN ON TRACT NO. 44481, M.B. 1115/28-48, A QUITCLAIM RECORDED JANUARY 10, 2006, AS INSTRUMENT NO. 06-0058014, OFFICIAL RECORDS.
- AN EASEMENT FOR INGRESS AND EGRESS SHOWN ON TRACT NO. 44481, M.B. 1115/28-48, (ALONG NE'LY LINE PARCEL 2, OUT OF SCOPE OF SURVEY)
- AN EASEMENT FOR SANITARY SEWER, INGRESS AND EGRESS, SHOWN ON PARCEL MAP NO. 63295, P.M.B. 346/26-32.
- AN EASEMENT FOR PUBLIC DRIVEWAY AND FIRE LANE, SHOWN ON PARCEL MAP NO. 63295, P.M.B. 346/26-32.
- AN EASEMENT FOR PUBLIC USE AND SIDEWALK, SHOWN ON PARCEL MAP NO. 63295, P.M.B. 346/26-32.
- COVENANTS, CONDITIONS, RESTRICTIONS AND A RECIPROCAL EASEMENT FOR PARKING, RECORDED FEBRUARY 22, 2007, AS INSTRUMENT NO. 20070382968, OFFICIAL RECORDS. (EXACT LOCATION NOT GIVEN IN DOCUMENT)
- A "RECIPROCAL EASEMENT AGREEMENT" RECORDED FEBRUARY 22, 2007, AS INSTRUMENT NO. 20070382970, OF OFFICIAL RECORDS. (EXACT LOCATION NOT GIVEN IN DOCUMENT)
- AN EASEMENT GRANTED TO SOUTHERN CALIFORNIA GAS COMPANY FOR PUBLIC UTILITIES, RECORDED MARCH 14, 2007, AS INSTRUMENT NO. 20070571608, OFFICIAL RECORDS. (THE EXACT LOCATION AND/OR EXTENT OF SAID EASEMENT IS NOT DISCLOSED IN THE PUBLIC RECORDS)
- AN EASEMENT GRANTED TO VALENCIA WATER COMPANY FOR PUBLIC UTILITIES, RECORDED JULY 2, 2007, AS INSTRUMENT NO. 20071578450, OFFICIAL RECORDS.
- AN EASEMENT GRANTED TO VALENCIA WATER COMPANY FOR PUBLIC UTILITIES, RECORDED JULY 2, 2007, AS INSTRUMENT NO. 20071578451, OFFICIAL RECORDS.
- A "COVENANT AND AGREEMENT REGARDING MAINTENANCE OF YARDS FOR AN OVER-SIZED BUILDING" RECORDED JULY 27, 2007, AS INSTRUMENT NO. 20071780467, OF OFFICIAL RECORDS. (APPROX. LOCATION FROM EXHIBIT)
- AN EASEMENT GRANTED TO SOUTHERN CALIFORNIA EDISON COMPANY FOR PUBLIC UTILITIES, RECORDED OCTOBER 4, 2007, AS INSTRUMENT NO. 20072279776, OFFICIAL RECORDS.

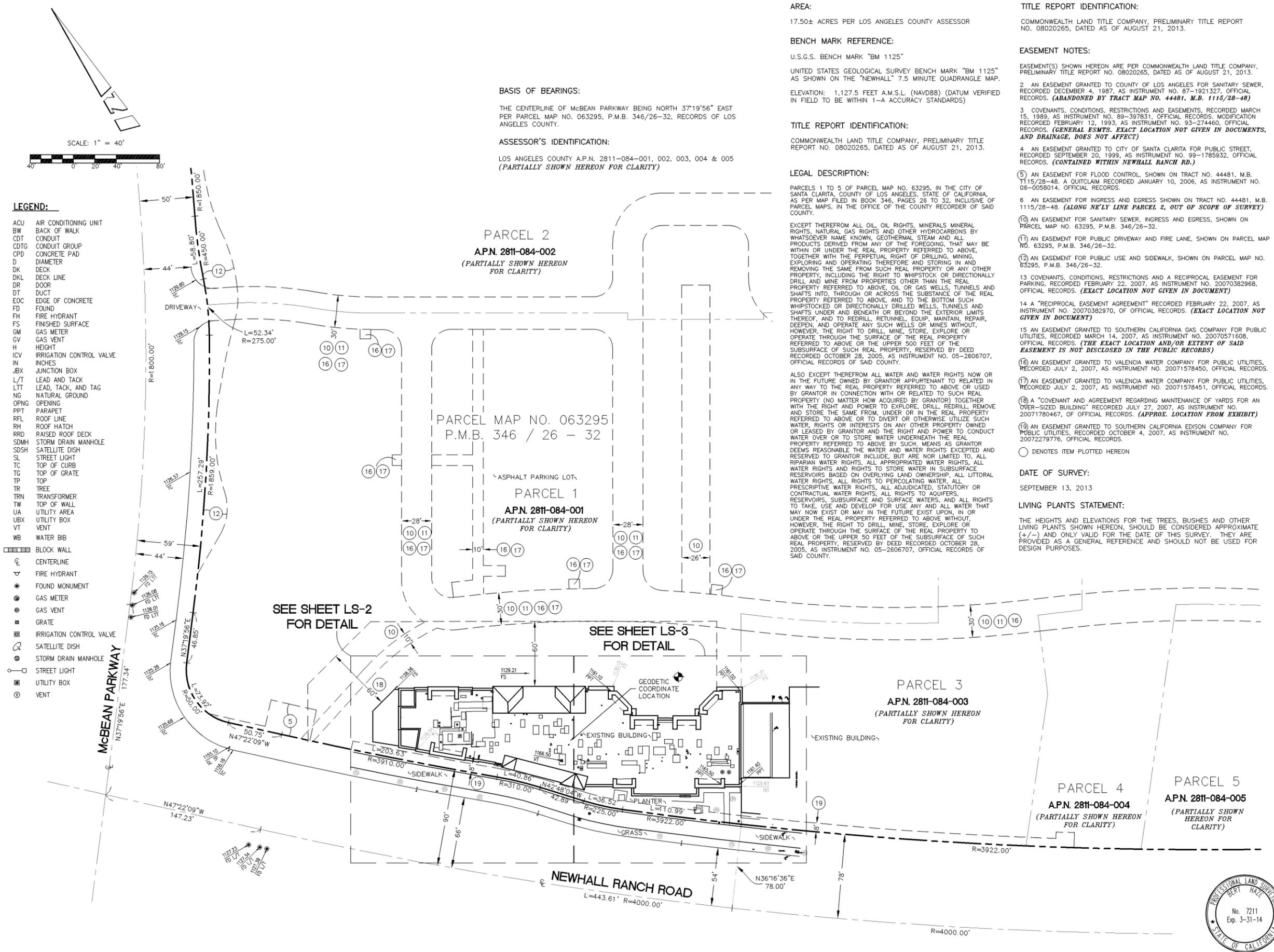
LEGAL DESCRIPTION:
PARCELS 1 TO 5 OF PARCEL MAP NO. 63295, IN THE CITY OF SANTA CLARITA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 346, PAGES 26 TO 32, INCLUSIVE OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

EXCEPT THEREFROM ALL OIL, OIL RIGHTS, MINERALS MINERAL RIGHTS, NATURAL GAS RIGHTS AND OTHER HYDROCARBONS BY WHATSOEVER NAME KNOWN, GEOTHERMAL STEAM AND ALL PRODUCTS DERIVED FROM ANY OF THE FOREGOING, THAT MAY BE WITHIN OR UNDER THE REAL PROPERTY REFERRED TO ABOVE, TOGETHER WITH THE PERPETUAL RIGHT OF DRILLING, MINING, EXPLORING AND OPERATING THEREFOR AND STORING IN AND REMOVING THE SAME FROM SUCH REAL PROPERTY OR ANY OTHER PROPERTY, INCLUDING THE RIGHT TO WHIPSTOCK OR DIRECTIONALLY DRILL AND MINE FROM PROPERTIES OTHER THAN THE REAL PROPERTY REFERRED TO ABOVE, OIL OR GAS WELLS, TUNNELS AND SHAFTS INTO, THROUGH OR ACROSS THE SUBSTANCE OF THE REAL PROPERTY REFERRED TO ABOVE, AND TO THE BOTTOM SUCH WHIPSTOCKED OR DIRECTIONALLY DRILLED WELLS, TUNNELS AND SHAFTS UNDER AND BENEATH OR BEYOND THE EXTERIOR LIMITS THEREOF, AND TO REDRILL, RETUNNEL, EQUIP, MAINTAIN, REPAIR, DEEPEN, AND OPERATE ANY SUCH WELLS OR MINES WITHOUT, HOWEVER THE RIGHT TO DRILL, MINE, STORE, EXPLORE OR OPERATE THROUGH THE SURFACE OF THE REAL PROPERTY REFERRED TO ABOVE OR THE UPPER 500 FEET OF THE SUBSURFACE OF SUCH REAL PROPERTY, RESERVED BY DEED RECORDED OCTOBER 28, 2005, AS INSTRUMENT NO. 05-2806707, OFFICIAL RECORDS OF SAID COUNTY.

ALSO EXCEPT THEREFROM ALL WATER AND WATER RIGHTS NOW OR IN THE FUTURE OWNED BY GRANTOR APPURTENANT TO RELATED IN ANY WAY TO THE REAL PROPERTY REFERRED TO ABOVE OR USED BY GRANTOR IN CONNECTION WITH OR RELATED TO SUCH REAL PROPERTY (NO MATTER HOW ACQUIRED BY GRANTOR) TOGETHER WITH THE RIGHT AND POWER TO EXPLORE, DRILL, REDRILL, REMOVE AND STORE THE SAME FROM, UNDER OR IN THE REAL PROPERTY REFERRED TO ABOVE OR TO DIVERT OR OTHERWISE UTILIZE SUCH WATER, RIGHTS OR INTERESTS ON ANY OTHER PROPERTY OWNED OR LEASED BY GRANTOR AND THE RIGHT AND POWER TO CONDUCT WATER OVER OR TO STORE WATER UNDERNEATH THE REAL PROPERTY REFERRED TO ABOVE BY SUCH MEANS AS GRANTOR DEEMS REASONABLE THE WATER AND WATER RIGHTS EXCEPTED AND RESERVED TO GRANTOR INCLUDE, BUT ARE NOT LIMITED TO, ALL RIPARIAN WATER RIGHTS, ALL APPROPRIATED WATER RIGHTS, ALL WATER RIGHTS AND RIGHTS TO STORE WATER IN SUBSURFACE RESERVOIRS BASED ON OVERLYING LAND OWNERSHIP, ALL LITTORAL WATER RIGHTS, ALL RIGHTS TO PERCOLATING WATER, ALL PRESCRIPTIVE WATER RIGHTS, ALL ADJUDICATED, STATUTORY OR CONTRACTUAL WATER RIGHTS, ALL RIGHTS TO AQUIFERS, RESERVOIRS, SUBSURFACE AND SURFACE WATERS, AND ALL RIGHTS TO TAKE, USE AND DEVELOP FOR USE ANY AND ALL WATER THAT MAY NOW EXIST OR MAY IN THE FUTURE EXIST UPON, IN OR UNDER THE REAL PROPERTY REFERRED TO ABOVE WITHOUT, HOWEVER, THE RIGHT TO DRILL, MINE, STORE, EXPLORE OR OPERATE THROUGH THE SURFACE OF THE REAL PROPERTY TO ABOVE OR THE UPPER 50 FEET OF THE SUBSURFACE OF SUCH REAL PROPERTY, RESERVED BY DEED RECORDED OCTOBER 28, 2005, AS INSTRUMENT NO. 05-2806707, OFFICIAL RECORDS OF SAID COUNTY.

DATE OF SURVEY:
SEPTEMBER 13, 2013

LIVING PLANTS STATEMENT:
THE HEIGHTS AND ELEVATIONS FOR THE TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY VALID FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.



- LEGEND:
- ACU AIR CONDITIONING UNIT
 - BW BACK OF WALK
 - CDT CONDUIT
 - CDTG CONDUIT GROUP
 - CPD CONCRETE PAD
 - D DIAMETER
 - DKL DECK
 - DKL DECK LINE
 - DR DOOR
 - DUCT DUCT
 - EOC EDGE OF CONCRETE
 - F FOUND
 - FH FIRE HYDRANT
 - FS FINISHED SURFACE
 - GM GAS METER
 - GV GAS VENT
 - H HEIGHT
 - ICV IRRIGATION CONTROL VALVE
 - IN INCHES
 - JBX JUNCTION BOX
 - L/T LEAD AND TACK
 - LTT LEAD, TACK, AND TAG
 - NG NATURAL GROUND
 - OPNG OPENING
 - PPT PARAPET
 - RFL ROOF LINE
 - RH ROOF HATCH
 - RRD RAISED ROOF DECK
 - SDMH STORM DRAIN MANHOLE
 - SDSH SATELLITE DISH
 - SL STREET LIGHT
 - TC TOP OF CURB
 - TC TOP OF GRATE
 - TP TOP
 - TR TREE
 - TRN TRANSFORMER
 - TW TOP OF WALL
 - UA UTILITY AREA
 - UBX UTILITY BOX
 - VT VENT
 - WB WATER BIB
 - Block Wall
 - Centerline
 - Fire Hydrant
 - Found Monument
 - Gas Meter
 - Gas Vent
 - Grate
 - Irrigation Control Valve
 - Satellite Dish
 - Storm Drain Manhole
 - Street Light
 - Utility Box
 - Vent



SEE SHEET LS-2 AND LS-3 FOR SITE DETAILS



**C.R. CARNEY
ARCHITECTS**

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(714) 665-9500
Fax (714) 665-9501

PREPARED BY:

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AND ASSOCIATES, INC.
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714 557-1567 OFFICE
714 557-1568 FAX

JN. 728.245

APPLICANT



15505 Sand Canyon Avenue
Building D, 1st Floor
Irvine, California 92618
(949) 286-7000

SITE INFORMATION

Bridgeport

Marketplace
24015 Newhall Ranch Road
Santa Clarita, California 91354

APPROVALS

DEPARTMENT	INITIALS	DATE
LANDLORD:		
ZONING:		
VZW SITE ACQ:		
VZW RF:		
VZW INTERCONNECT:		
VZW UTILITY COORD:		
VZW CONST. MGR:		
VZW PROJ. MGR:		

REVISIONS

△	Description	Date
1	ISSUED FOR REVIEW (RF)	09/19/13
2	ADDED TITLE INFO. (JA)	10/01/13

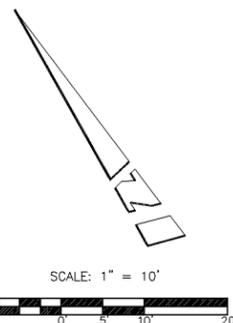
Job Number: JN. 728.245	Drawn By: RF
Scale: 1" = 10'	Checked By: CWW

SHEET TITLE

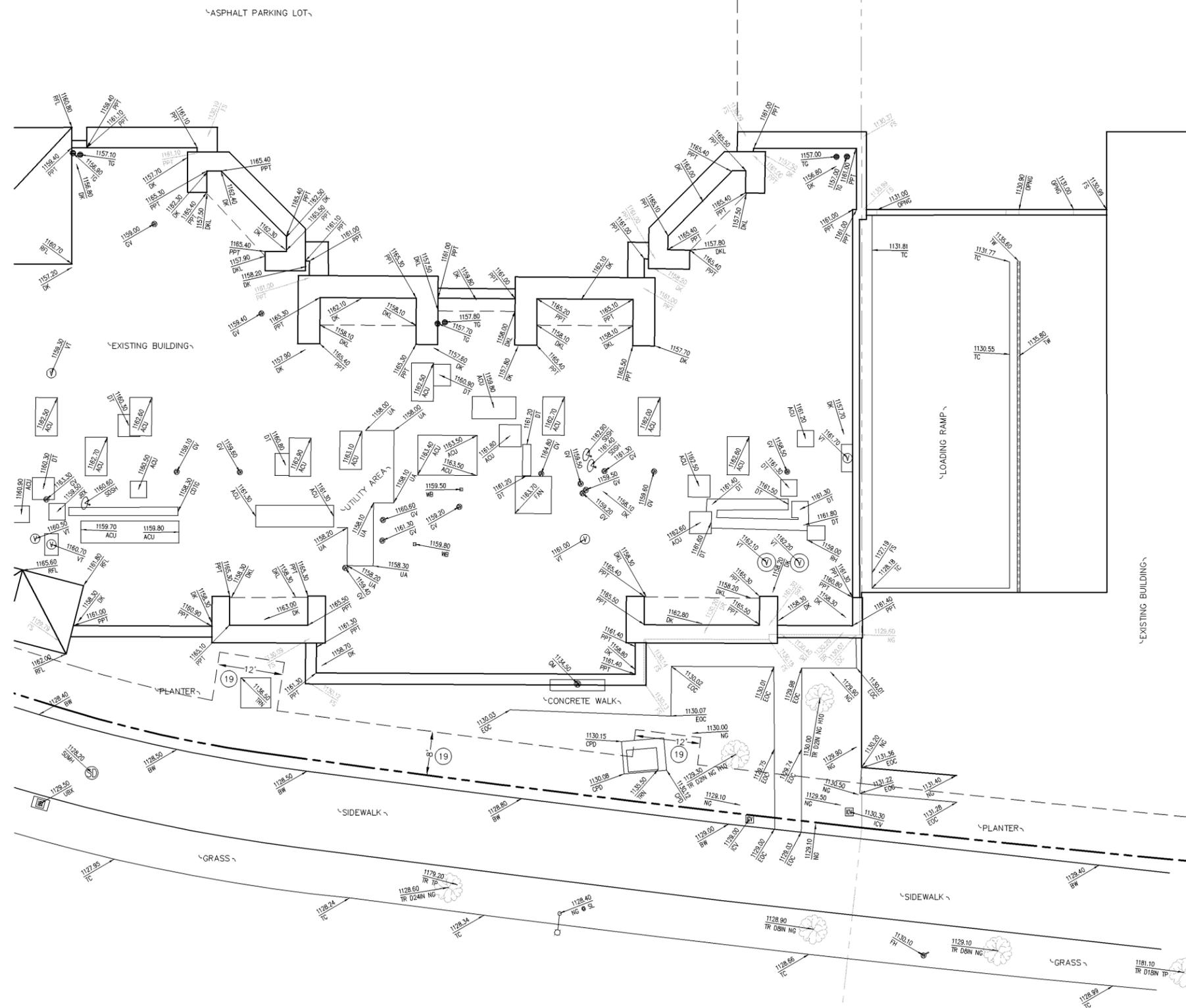
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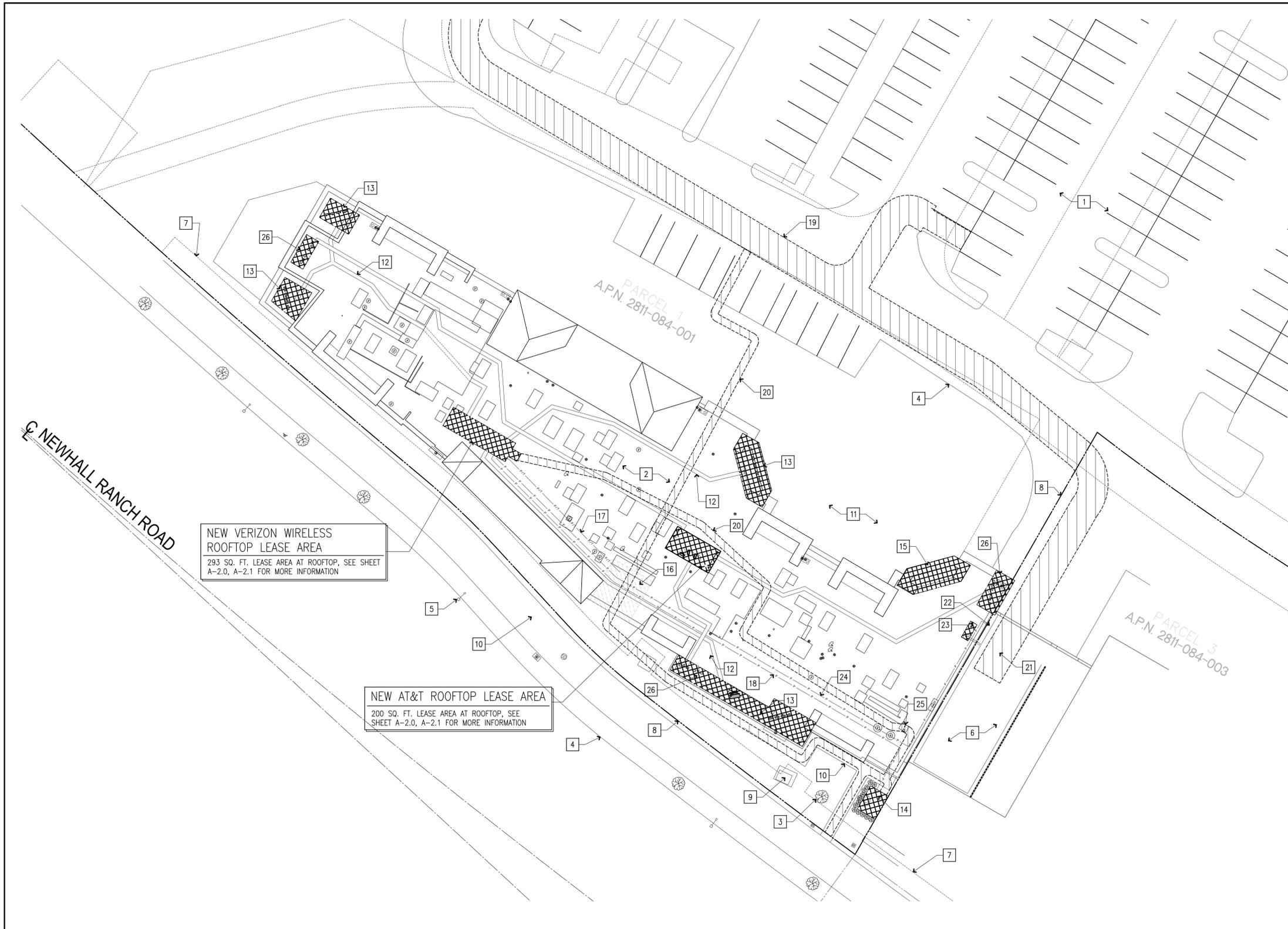
LS-3

SEE SHEET LS-1 FOR BOUNDARY AND TITLE INFO.
SEE SHEET LS-2 FOR SITE DETAILS



SCALE: 1" = 10'





- KEY NOTES:**
1. EXISTING PARKING LOT
 2. EXISTING BUILDING ROOFTOP
 3. EXISTING TREE, TYP.
 4. EXISTING CURB
 5. EXISTING STREET LIGHT, TYP.
 6. EXISTING LOADING DOCK
 7. EXISTING EASEMENT, SEE TOPOGRAPHIC SURVEY.
 8. EXISTING PROPERTY LINE
 9. EXISTING TRANSFORMER
 10. EXISTING SIDEWALK
 11. EXISTING PLAZA
 12. NEW VERIZON WIRELESS COAX CABLE TRAY @ ROOFTOP
 13. NEW VERIZON WIRELESS ANTENNA LOCATIONS ON ROOFTOP, SEE ENLARGED PLANS
 14. NEW VERIZON WIRELESS GENERATOR SPLIT FACE CMU ENCLOSURE AT GRADE WITH 8' HIGH CMU WALLS
 15. NEW ARCHITECTURAL FEATURE, SEE SHEET A-2.0
 16. EXISTING ELECTRICAL ROOM AT FIRST FLOOR, NEW VERIZON WIRELESS SOURCE OF POWER AND TELCO
 17. NEW VERIZON WIRELESS POWER & TELCO RUN TO LEASE AREA FROM SWITCH GEAR ROOM AT FIRST FLOOR
 18. NEW VERIZON WIRELESS POWER RUN TO LEASE AREA FROM GENERATOR ENCLOSURE AT GRADE, APPROX. LENGTH 260 FT.
 19. NEW 12'-0" WIDE NON-EXCLUSIVE VEHICULAR PATH OF ACCESS FROM RIGHT OF WAY TO NON-EXCLUSIVE SERVICE PARKING STALL AND TEMPORARY VERIZON GENERATOR PARKING LOCATION
 20. NEW 3'-0" WIDE NON-EXCLUSIVE PEDESTRIAN PATH OF ACCESS FROM PARKING STALL TO LEASE AREA AT ROOF AND VERIZON GENERATOR AT GRADE THRU BUILDING MAIN ENTRANCE
 21. NEW TEMPORARY VERIZON GENERATOR PARKING LOCATION
 22. NEW VERIZON WIRELESS EMERGENCY GENERATOR APPLETON PLUG, MOUNT TO WALL AT LOADING DOCK
 23. NEW VERIZON WIRELESS DAVIT CRANE AT ROOFTOP, FINAL LOCATION TO BE DETERMINED BY STRUCTURAL
 24. NEW VERIZON WIRELESS POWER RUN TO LEASE AREA FROM APPLETON PLUG AT LOADING DOCK, APPROX. LENGTH 300 FT.
 25. EXISTING ROOF SCUTTLE, PROVIDE VERIZON WIRELESS ACCESS PROVISIONS
 26. NEW AT&T ANTENNA LOCATIONS ON ROOFTOP, SEE ENLARGED PLANS

NEW VERIZON WIRELESS ROOFTOP LEASE AREA
 293 SQ. FT. LEASE AREA AT ROOFTOP, SEE SHEET A-2.0, A-2.1 FOR MORE INFORMATION

NEW AT&T ROOFTOP LEASE AREA
 200 SQ. FT. LEASE AREA AT ROOFTOP, SEE SHEET A-2.0, A-2.1 FOR MORE INFORMATION

ENLARGED SITE PLAN

SCALE: 1" = 20'-0"
 NORTH
 0 5' 10' 20'

DCI PACIFIC
A|E|C WORKS
 ARCHITECTURE | ENGINEERING | CONSULTING
 32 EXECUTIVE PARK | SUITE 110 | IRVINE | CA 92614
 T 949 475.1000 | 949 475.1001 F

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NL0448.2
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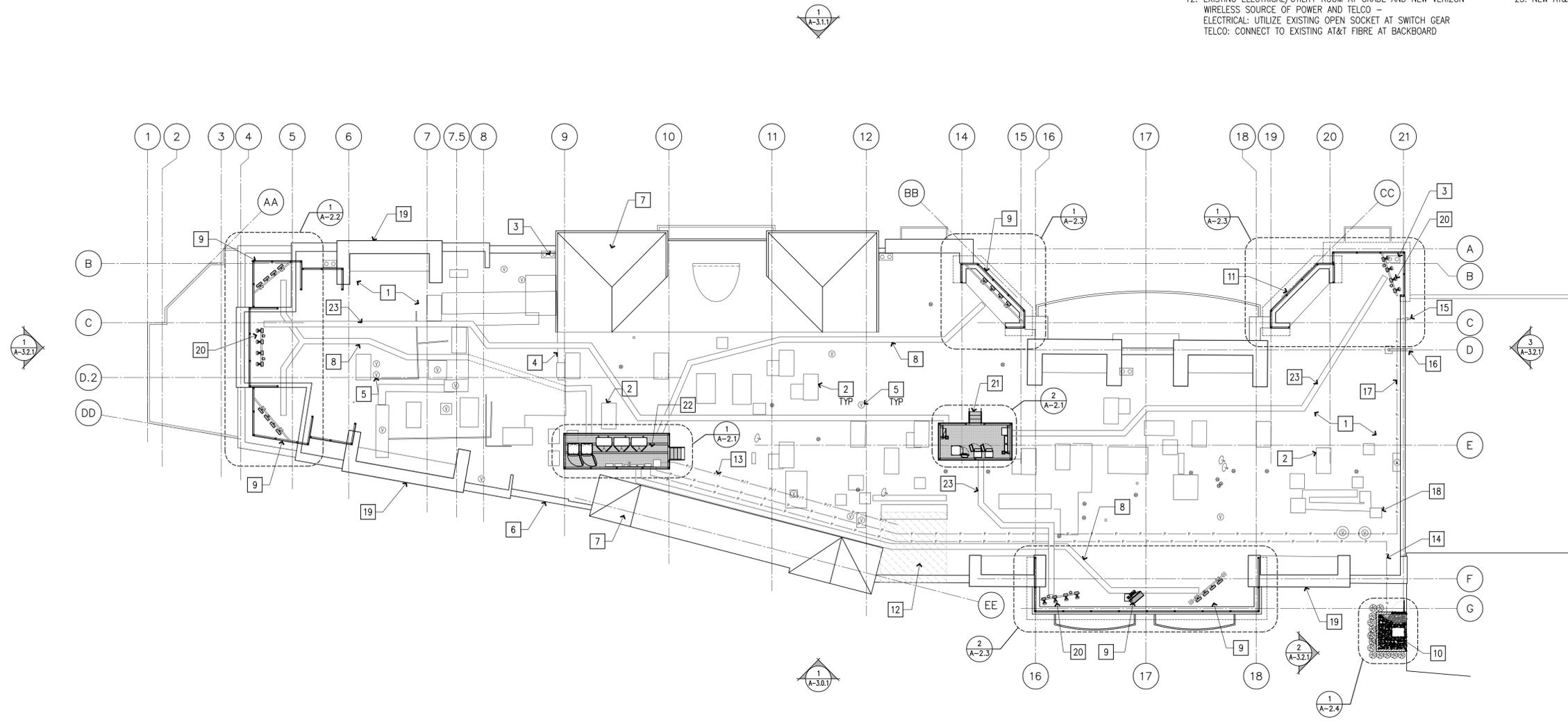
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A	10/22/13	ISSUED FOR ZD REVIEW AND COMMENT (90% ZD)	FV	BOK	DKD

SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE: **ENLARGED SITE PLAN**
 SHEET NUMBER: **A-1.1**

KEY NOTES:

1. EXISTING BUILDING ROOFTOP
2. EXISTING MECHANICAL UNIT
3. EXISTING ROOF DRAIN
4. EXISTING MECHANICAL EQUIPMENT/DUCTWORK
5. EXISTING VENT
6. EXISTING PARAPET
7. EXISTING SLOPED ROOF WITH TILE
8. NEW VERIZON WIRELESS COAX CABLE TRAY AT ROOFTOP
9. NEW VERIZON WIRELESS ANTENNA LOCATIONS ON ROOFTOP
10. NEW VERIZON WIRELESS GENERATOR ENCLOSURE AT GRADE WITH 8' HIGH SPLIT FACE CMU WALLS
11. EXISTING ARCHITECTURAL FEATURE, EXTEND AS REQUIRED TO MATCH EXTENSION AT OPPOSITE FEATURE
12. EXISTING ELECTRICAL/UTILITY ROOM AT GRADE AND NEW VERIZON WIRELESS SOURCE OF POWER AND TELCO - ELECTRICAL: UTILIZE EXISTING OPEN SOCKET AT SWITCH GEAR TELCO: CONNECT TO EXISTING AT&T FIBRE AT BACKBOARD
13. NEW VERIZON WIRELESS POWER & TELCO RUN TO LEASE AREA FROM SWITCH GEAR ROOM AT FIRST FLOOR
14. NEW VERIZON WIRELESS POWER RUN TO LEASE AREA FROM GENERATOR ENCLOSURE AT GRADE
15. NEW VERIZON WIRELESS EMERGENCY GENERATOR APPLETON PLUG, MOUNT TO WALL AT LOADING DOCK
16. NEW VERIZON WIRELESS DAVIT CRANE
17. NEW VERIZON WIRELESS POWER RUN TO LEASE AREA FROM APPLETON PLUG AT LOADING DOCK
18. EXISTING ROOF SCUTTLE, PROVIDE VERIZON WIRELESS ACCESS PROVISIONS
19. EXISTING RAISED PARAPET/ARCHITECTURAL FEATURE
20. NEW AT&T ANTENNA LOCATIONS ON ROOFTOP
21. NEW AT&T EQUIPMENT PLATFORM ON ROOFTOP
22. NEW VERIZON EQUIPMENT PLATFORM ON ROOFTOP
23. NEW AT&T ROOF MOUNTED CABLE TRAY



ROOF PLAN

SCALE: 1/16" = 1'-0" 0 5' 10' 16' 1

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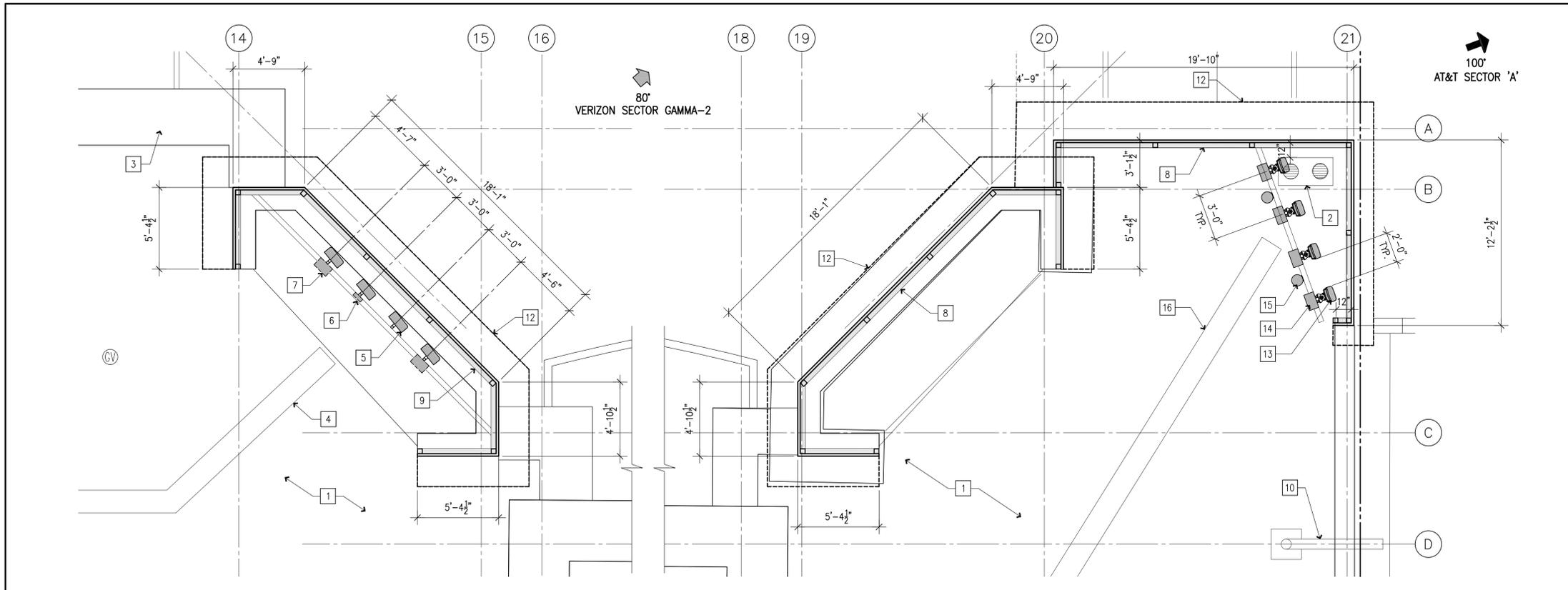
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NO.	DATE	REVISIONS	BY	CHK	APP'D
2	05/30/14	INCORPORATED PLANNING DEPT. COMMENTS	FV	BOK	DKD
1	04/17/14	COMBINED AT&T AND VERIZON ZD'S	FV	BOK	DKD
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A	10/22/13	ISSUED FOR ZD REVIEW AND COMMENT (90% ZD)	FV	BOK	DKD

SCALE AS SHOWN DESIGNED DRAWN

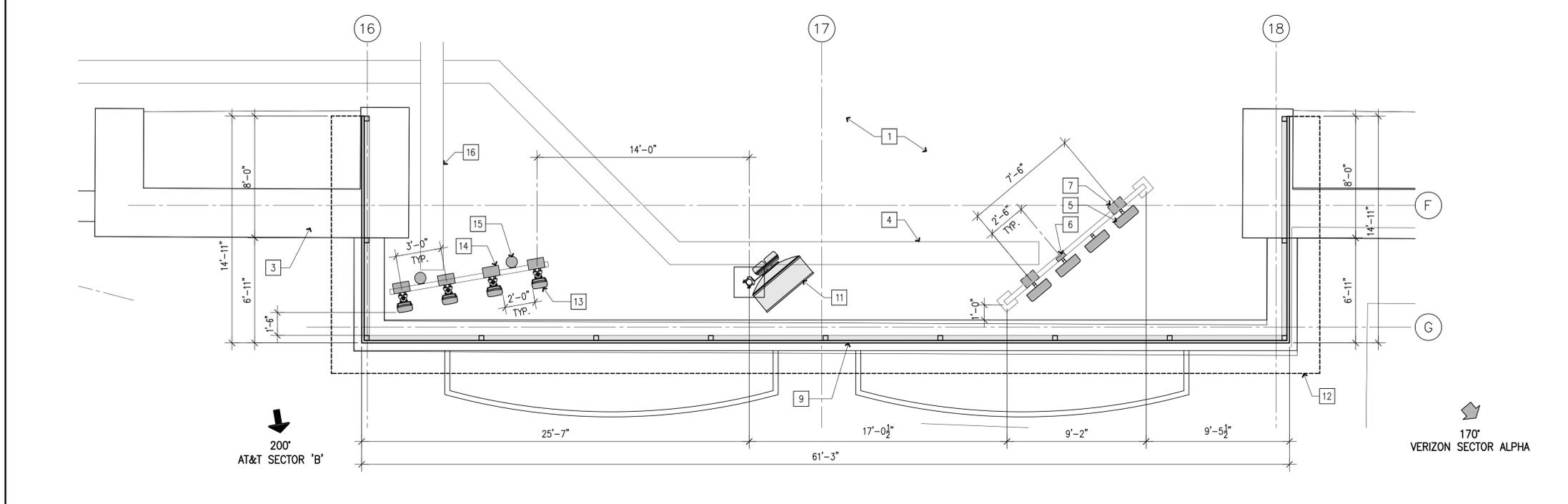
SHEET TITLE: **ROOF PLAN**

SHEET NUMBER: **A-2.0**



- KEY NOTES:**
- EXISTING BUILDING ROOFTOP
 - EXISTING ROOF DRAIN
 - EXISTING PARAPET
 - NEW VERIZON WIRELESS COAX CABLE TRAY
 - NEW VERIZON WIRELESS ANTENNA BEHIND NEW SCREEN
 - NEW VERIZON WIRELESS T.M.A., MOUNT BEHIND PANEL ANTENNA, TYP. OF 1 PER SECTOR, 4 TOTAL
 - NEW VERIZON WIRELESS R.R.U., MOUNT BEHIND PANEL ANTENNA OR PARAPET, TYP. OF 2 PER SECTOR, 8 TOTAL
 - EXTENDED EXISTING ARCHITECTURAL FEATURE AS REQUIRED TO MATCH EXTENSION OF OPPOSITE FEATURE, SEE ELEVATIONS
 - NEW FRP ANTENNA SCREEN, FINISH TO MATCH EXIST. BLDG.
 - NEW VERIZON WIRELESS DAVIT CRANE
 - NEW VERIZON WIRELESS 4' DIA. MICROWAVE DISH, FINAL AZIMUTH T.B.D.
 - EDGE OF CORNICE AT TOP OF NEW SCREEN/ARCHITECTURAL FEATURE EXTENSION
 - NEW AT&T AIR ANTENNA BEHIND NEW SCREEN, TYP. OF 4 PER SECTOR, 12 TOTAL
 - NEW AT&T R.R.U. BEHIND ANTENNA, TYP. OF 8 PER SECTOR, 24 TOTAL
 - NEW AT&T DC SURGE SUPPRESSOR BEHIND ANTENNA, TYP. OF 2 PER SECTOR, 6 TOTAL
 - NEW AT&T ROOF MOUNTED CABLE TRAY

ANTENNA PLAN SCALE: 1/4" = 1'-0" 0 1' 2' 4' **1**



- KEY NOTES**

ANTENNA PLAN SCALE: 1/4" = 1'-0" 0 1' 2' 4' **2**

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SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE	SHEET NUMBER
ANTENNA PLANS	A-2.3



EXISTING SOUTH ELEVATION

SCALE: 1/16" = 1'-0" 0 5' 10' 16' 1

KEY NOTES:

- 1. EXISTING BUILDING PARAPET WALL
- 2. EXISTING BUILDING PARAPET WALL, BEYOND



ENLARGED EXISTING SOUTH ELEVATION

SCALE: 1/8" = 1'-0" 0 2' 4' 8' 2

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SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE SHEET NUMBER

EXISTING ELEVATIONS

A-3.0



SOUTH ELEVATION

SCALE: 1/16" = 1'-0" 0 5' 10' 16' **1**

KEY NOTES:

- 1. EXISTING BUILDING PARAPET WALL
- 2. NEW ANTENNA/EQUIPMENT SCREEN, PAINT, TEXTURE, AND TRIM TO MATCH EXIST. BUILDING
- 3. NEW VERIZON WIRELESS U.L. LISTED RADIO EQUIPMENT CABINETS BEHIND SCREEN WALL
- 4. NEW VERIZON WIRELESS PANEL ANTENNAS BEHIND NEW SCREEN
- 5. NEW VERIZON WIRELESS PERMANENT GENERATOR
- 6. NEW SPLIT FACE CMU SCREEN WALL, FINISH TO MATCH ADJACENT WALL
- 7. NEW VERIZON WIRELESS 4' DIA. MICROWAVE ANTENNA BEHIND SCREEN WALL
- 8. NEW SHRUBS AT GENERATOR ENCLOSURE, LANDSCAPING TO MATCH EXISTING LANDSCAPING
- 9. NEW AT&T 6'H. AIR ANTENNAS BEHIND NEW SCREEN
- 10. NEW AT&T OUTDOOR EQUIPMENT CABINETS BEHIND SCREEN WALL
- 11. EXISTING BUILDING PARAPET WALL, BEYOND



ENLARGED SOUTH ELEVATION

SCALE: 1/8" = 1'-0" 0 2' 4' 8' **2**

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SOUTH ELEVATION

SCALE: 1/16" = 1'-0" 0 5' 10' 16' **1**

KEY NOTES:

- | | |
|--|--|
| 1. EXISTING BUILDING PARAPET WALL | 6. - |
| 2. NEW ANTENNA/EQUIPMENT SCREEN, PAINT, TEXTURE, AND TRIM TO MATCH EXIST. BUILDING | 7. - |
| 3. - | 8. - |
| 4. - | 9. NEW AT&T 6'H. AIR ANTENNAS BEHIND NEW SCREEN |
| 5. - | 10. NEW AT&T OUTDOOR EQUIPMENT CABINETS BEHIND SCREEN WALL |
| | 11. EXISTING BUILDING PARAPET WALL, BEYOND |



ENLARGED SOUTH ELEVATION

SCALE: 1/8" = 1'-0" 0 2' 4' 8' **2**

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INDICATES AREA OF PROPOSED WORK

SOUTH ELEVATION

SCALE: 1/16" = 1'-0" 0 5' 10' 16' **1**

KEY NOTES:

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ENLARGED SOUTH ELEVATION

SCALE: 1/8" = 1'-0" 0 2' 4' 8' **2**

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EXISTING NORTH ELEVATION

SCALE: 1/16" = 1'-0" 0 5' 10' 16' **1**

KEY NOTES:

1. EXISTING BUILDING PARAPET WALL
2. EXISTING BUILDING PARAPET WALL, BEYOND



ENLARGED EXISTING NORTH ELEVATION

SCALE: 1/8" = 1'-0" 0 2' 4' 8' **2**

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SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE SHEET NUMBER

EXISTING ELEVATIONS

A-3.1



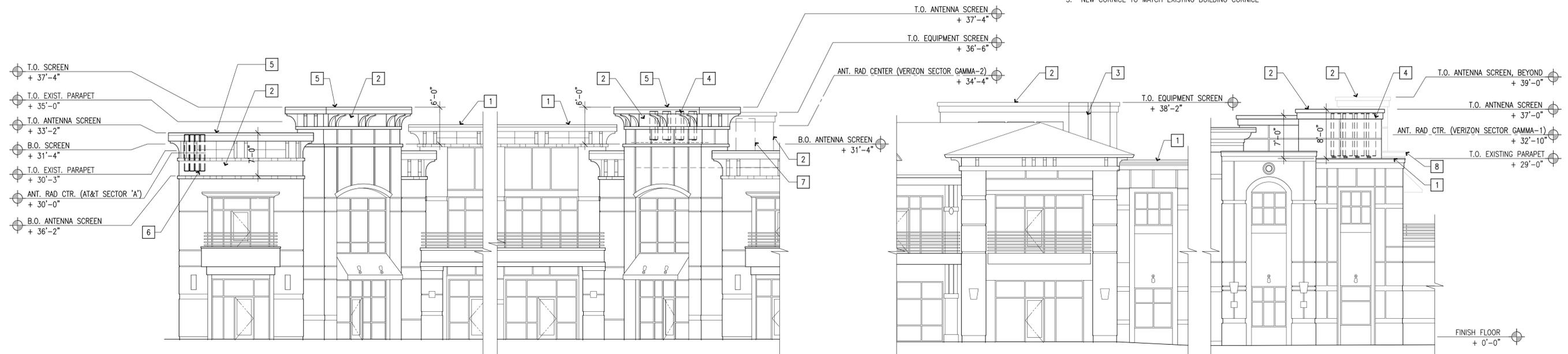
INDICATES AREA OF PROPOSED WORK

NORTH ELEVATION

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- EXISTING BUILDING PARAPET WALL, BEYOND



ENLARGED NORTH ELEVATION

SCALE: 1/8" = 1'-0" 0 2' 4' 8' 2

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ENLARGED NORTH ELEVATION

SCALE: 1/8" = 1'-0" 0 2' 4' 8' 2

<p>DCI PACIFIC A E C WORKS</p> <p>ARCHITECTURE ENGINEERING CONSULTING 32 EXECUTIVE PARK SUITE 110 IRVINE CA 92614 T 949 475.1000 949 475.1001 F</p>	<p>VeloTera SERVICES, Inc.</p> <p>7431 LAMPSON AVENUE GARDEN GROVE, CA 92841</p>	<p>NL0448.2 MCBEAN-BRIDGEPORT</p> <p>24015 & 24025 NEWHALL RANCH ROAD SANTA CLARITA, CA 91355</p>	<p></p> <p>12900 PARK PLAZA DRIVE CERRITOS, CA 90703</p>	<p></p> <p>15505 Sand Canyon Avenue Building D, 1st Floor Irvine, California 92618 (949) 286-7000</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%;">NO.</td> <td style="width: 10%;">DATE</td> <td style="width: 50%;">REVISIONS</td> <td style="width: 10%;">BY</td> <td style="width: 10%;">CHK</td> <td style="width: 10%;">APP'D</td> </tr> <tr> <td>2</td> <td>05/30/14</td> <td>INCORPORATED PLANNING DEPT. COMMENTS</td> <td>FV</td> <td>BOK</td> <td>DKD</td> </tr> <tr> <td>1</td> <td>04/17/14</td> <td>COMBINED AT&T AND VERIZON ZD'S</td> <td>FV</td> <td>BOK</td> <td>DKD</td> </tr> <tr> <td>0</td> <td>11/26/13</td> <td>ISSUED FOR ZONING PERMIT (100% ZD)</td> <td>FV</td> <td>BOK</td> <td>DKD</td> </tr> <tr> <td>A</td> <td>10/22/13</td> <td>ISSUED FOR ZD REVIEW AND COMMENT (90% ZD)</td> <td>FV</td> <td>BOK</td> <td>DKD</td> </tr> </table> <p>SCALE AS SHOWN DESIGNED DRAWN</p>	NO.	DATE	REVISIONS	BY	CHK	APP'D	2	05/30/14	INCORPORATED PLANNING DEPT. COMMENTS	FV	BOK	DKD	1	04/17/14	COMBINED AT&T AND VERIZON ZD'S	FV	BOK	DKD	0	11/26/13	ISSUED FOR ZONING PERMIT (100% ZD)	FV	BOK	DKD	A	10/22/13	ISSUED FOR ZD REVIEW AND COMMENT (90% ZD)	FV	BOK	DKD	<p>SHEET TITLE</p> <p>ELEVATIONS (AT&T ONLY)</p>	<p>SHEET NUMBER</p> <p>A-3.1.2</p>
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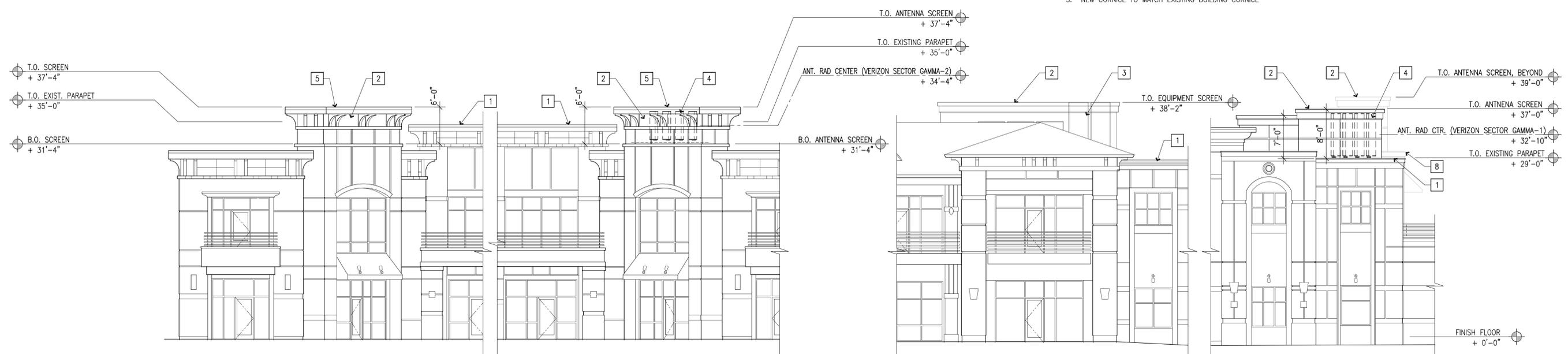
INDICATES AREA OF PROPOSED WORK

NORTH ELEVATION

SCALE: 1/16" = 1'-0" 0 5' 10' 16' 1

KEY NOTES:

1. EXISTING BUILDING PARAPET WALL
2. NEW ANTENNA/EQUIPMENT SCREEN, PAINT, TEXTURE, AND TRIM TO MATCH EXISTING BUILDING
3. NEW VERIZON WIRELESS U.L. LISTED RADIO EQUIPMENT CABINETS BEHIND SCREEN WALL
4. NEW VERIZON WIRELESS PANEL ANTENNAS BEHIND NEW SCREEN
5. NEW CORNICE TO MATCH EXISTING BUILDING CORNICE
6. -
7. -
8. EXISTING BUILDING PARAPET WALL, BEYOND



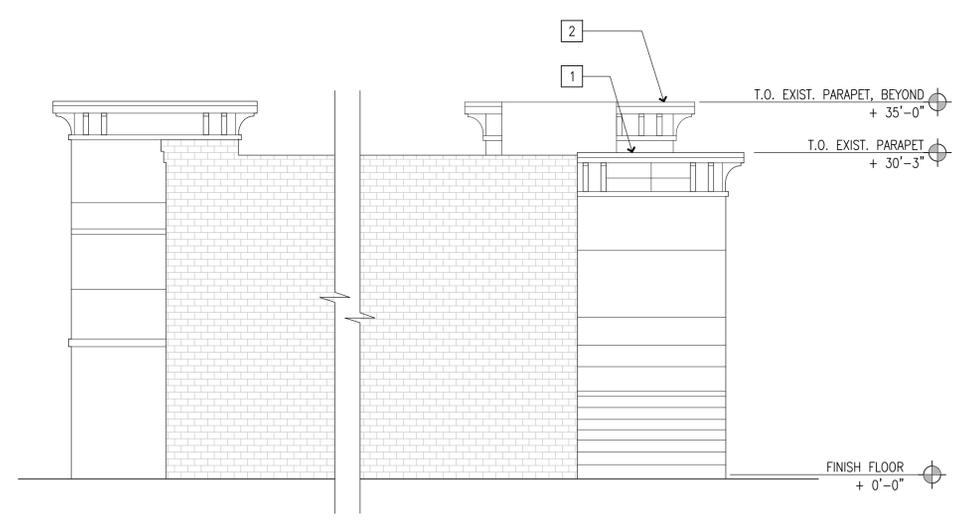
ENLARGED NORTH ELEVATION

SCALE: 1/8" = 1'-0" 0 2' 4' 8' 2

DCI PACIFIC A E C WORKS <small>ARCHITECTURE ENGINEERING CONSULTING 32 EXECUTIVE PARK SUITE 110 IRVINE CA 92614 T 949.475.1000 949.475.1001 F</small>	VeloTera SERVICES, Inc. <small>7431 LAMPSON AVENUE GARDEN GROVE, CA 92841</small>	NL0448.2 MCBEAN-BRIDGEPORT <small>24015 & 24025 NEWHALL RANCH ROAD SANTA CLARITA, CA 91355</small>	 <small>12900 PARK PLAZA DRIVE CERRITOS, CA 90703</small>	 <small>15505 Sand Canyon Avenue Building D, 1st Floor Irvine, California 92618 (949) 286-7000</small>	2 05/30/14 INCORPORATED PLANNING DEPT. COMMENTS FV BOK DKD	SHEET TITLE ELEVATIONS (VERIZON ONLY) A-3.1.3 SHEET NUMBER																																												
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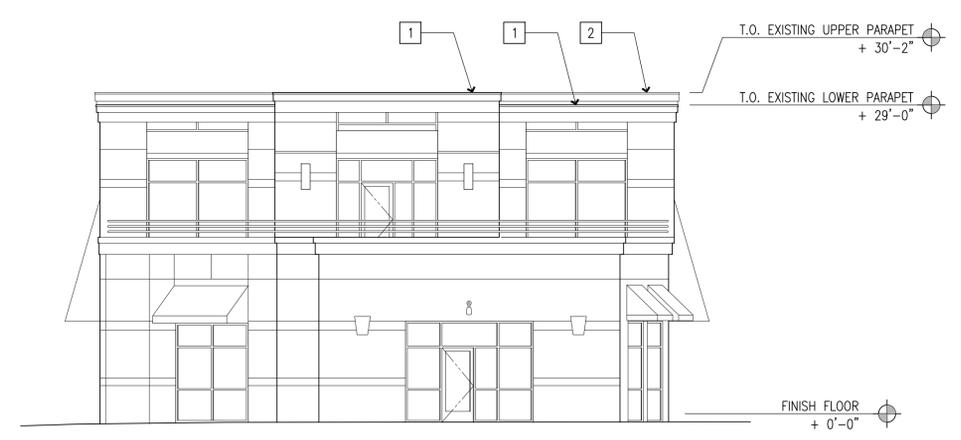
- 1. EXISTING BUILDING PARAPET WALL
- 2. EXISTING BUILDING PARAPET WALL, BEYOND



EXISTING EAST ELEVATION

SCALE: 1/8" = 1'-0"
0 2' 4' 8'

3



EXISTING WEST ELEVATION

SCALE: 1/8" = 1'-0"
0 2' 4' 8'

1



EXISTING GENERATOR ENCLOSURE ELEVATION

SCALE: 1/8" = 1'-0"
0 2' 4' 8'

2

KEYNOTES

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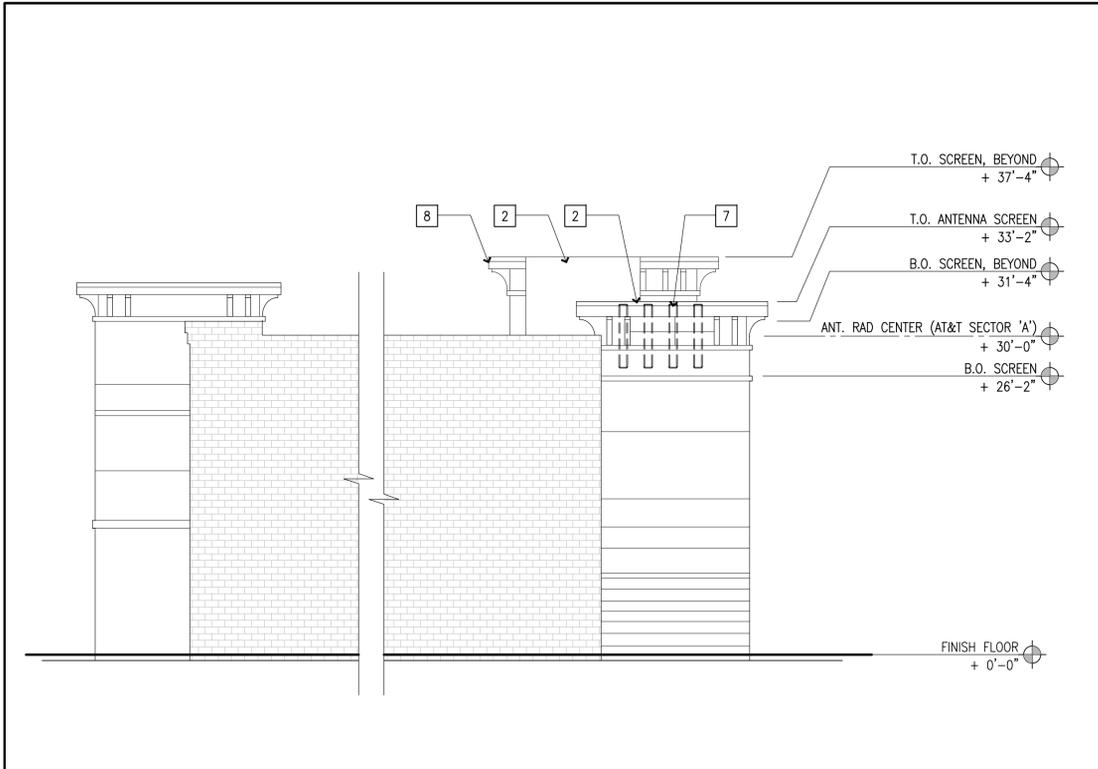
verizonwireless
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SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE
EXISTING ELEVATIONS

SHEET NUMBER
A-3.2

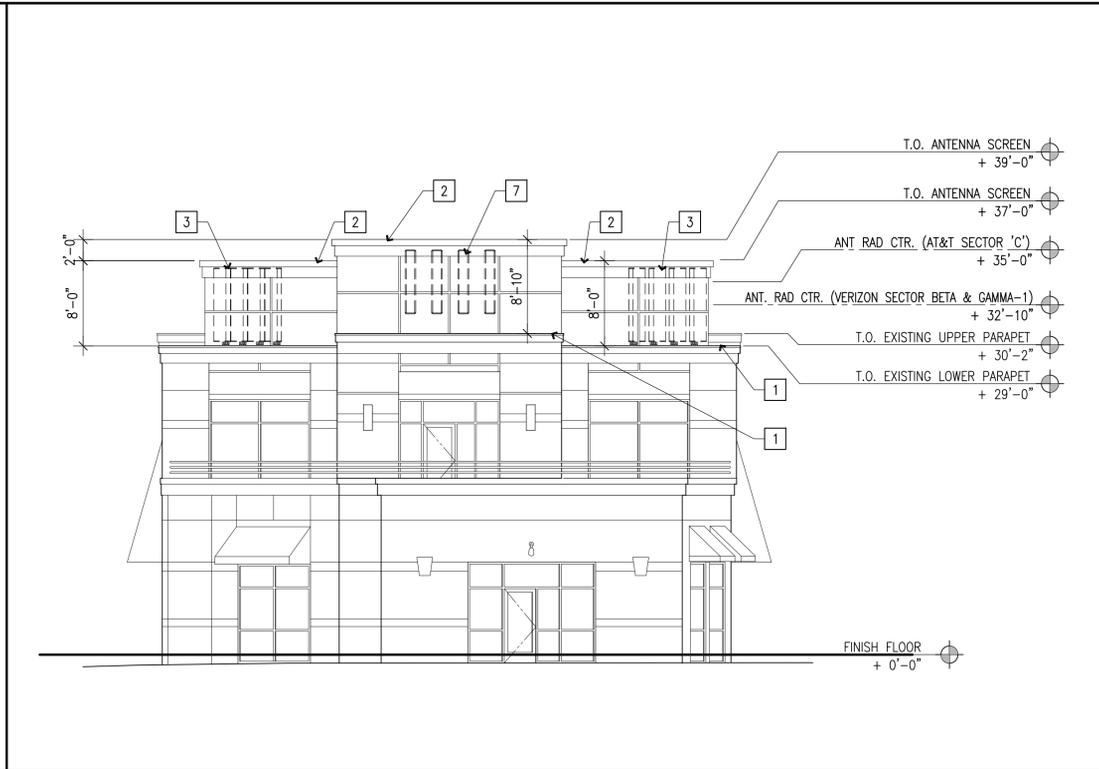


EAST ELEVATION

SCALE: 1/8" = 1'-0"

0 2' 4' 8'

3



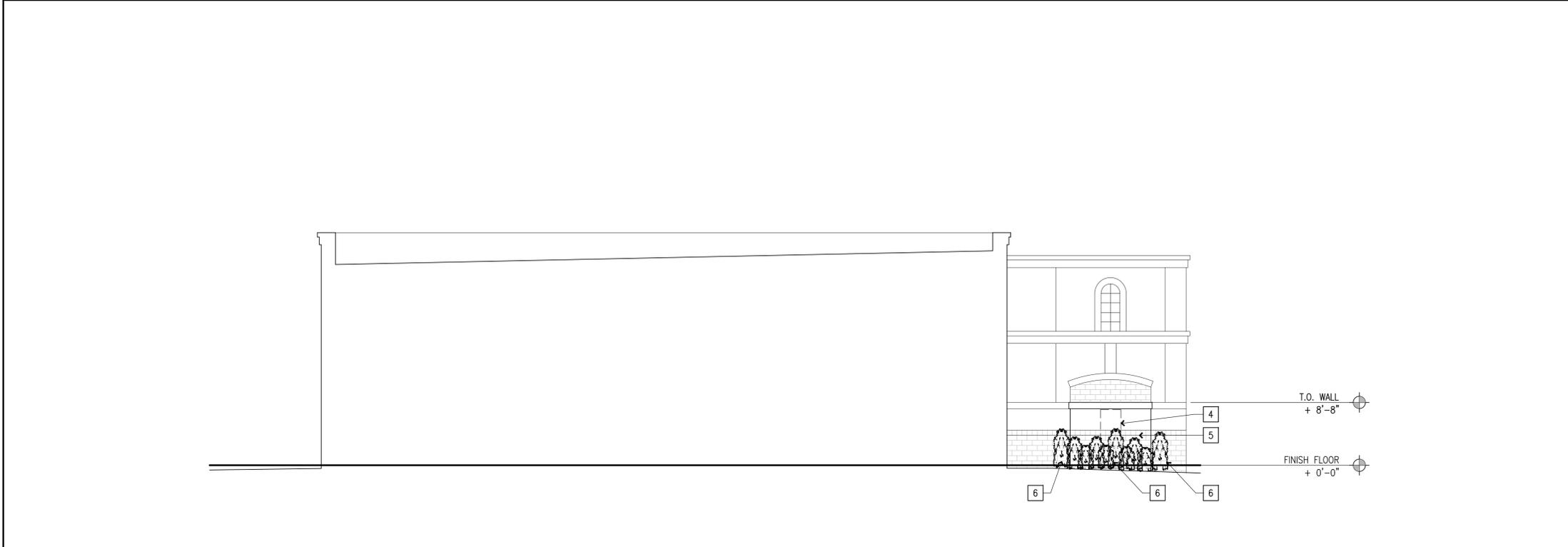
WEST ELEVATION

SCALE: 1/8" = 1'-0"

0 2' 4' 8'

1

- KEY NOTES:**
- EXISTING BUILDING PARAPET WALL
 - NEW ANTENNA SCREEN, PAINT, TEXTURE, AND TRIM TO MATCH EXISTING BUILDING
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 - NEW SHRUBS AT GENERATOR ENCLOSURE, LANDSCAPING TO MATCH EXISTING LANDSCAPING
 - NEW AT&T AIR 6'H. ANTENNAS BEHIND NEW SCREEN
 - NEW CORNICE TO MATCH EXISTING BUILDING CORNICE



GENERATOR ENCLOSURE ELEVATION

SCALE: 1/8" = 1'-0"

0 2' 4' 8'

2

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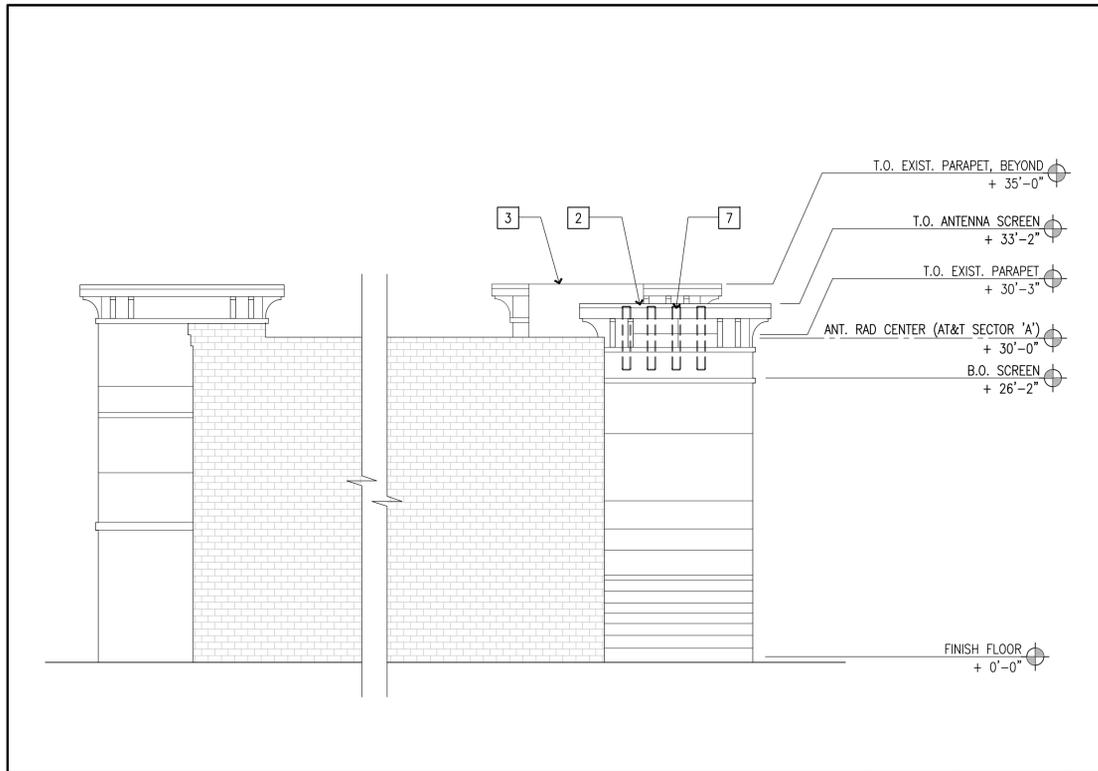
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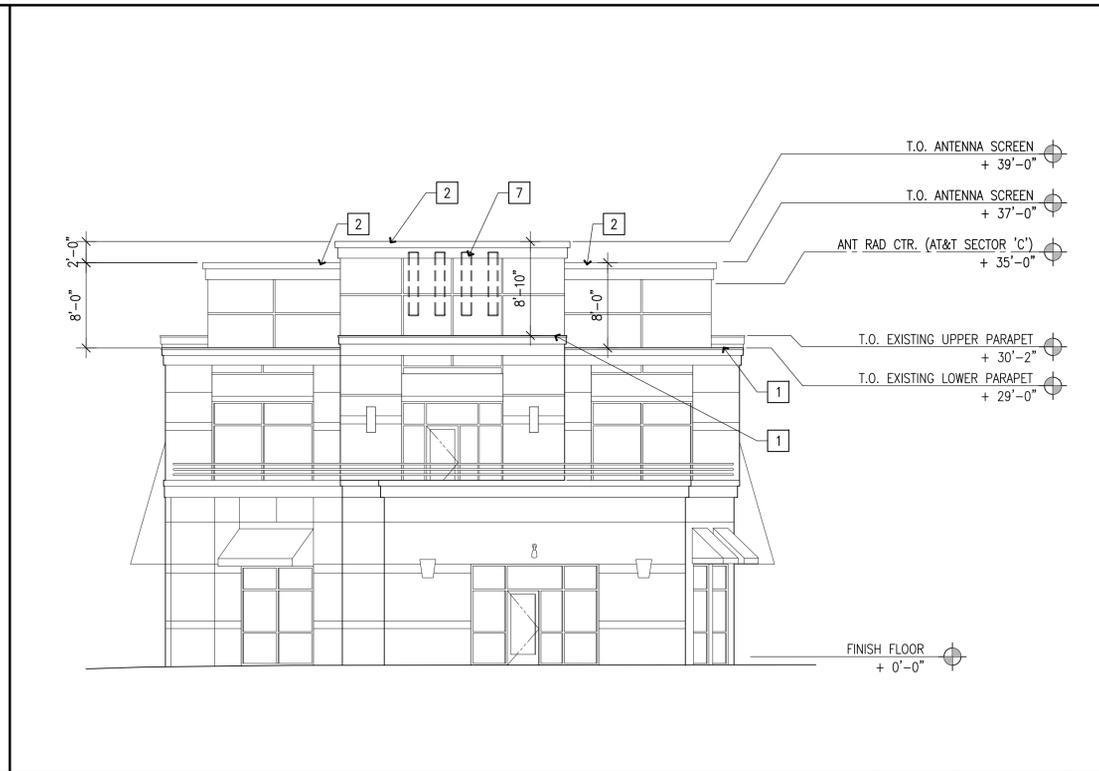
SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE	SHEET NUMBER
ELEVATIONS (COMBINED)	A-3.2.1



EAST ELEVATION

SCALE: 1/8" = 1'-0" 0 2' 4' 8' **3**



WEST ELEVATION

SCALE: 1/8" = 1'-0" 0 2' 4' 8' **1**

KEY NOTES:

1. EXISTING BUILDING PARAPET WALL
2. NEW ANTENNA SCREEN, PAINT, TEXTURE, AND TRIM TO MATCH EXISTING BUILDING
3. EXISTING BUILDING PARAPET WALL, BEYOND
4. -
5. -
6. NEW SHRUBS AT GENERATOR ENCLOSURE, LANDSCAPING TO MATCH EXISTING LANDSCAPING
7. NEW AT&T AIR 6'H. ANTENNAS BEHIND NEW SCREEN

NOT USED

2 KEYNOTES

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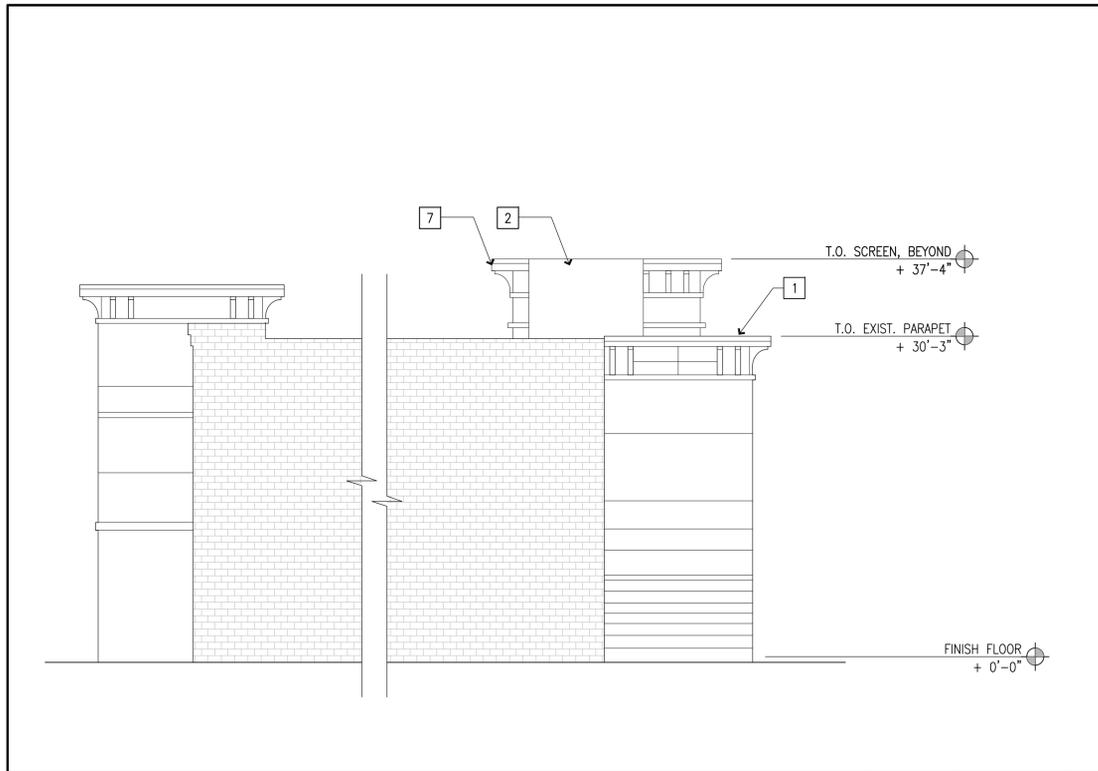
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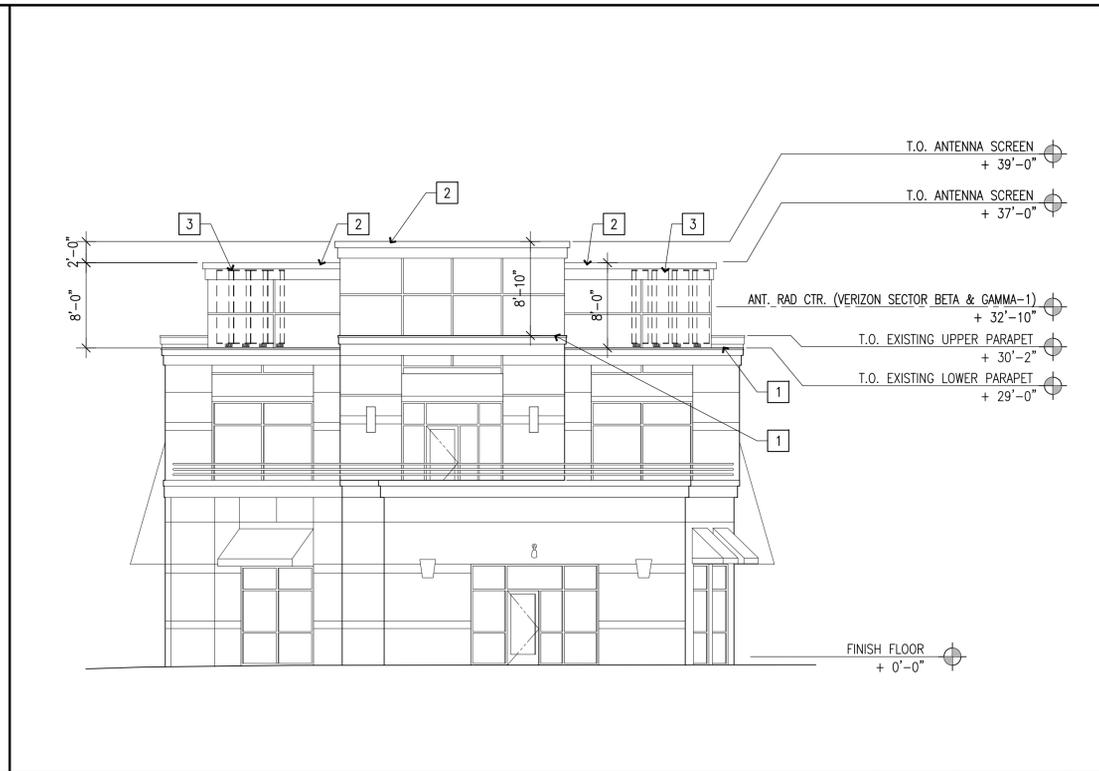
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SHEET TITLE	SHEET NUMBER
ELEVATIONS (AT&T ONLY)	A-3.2.2



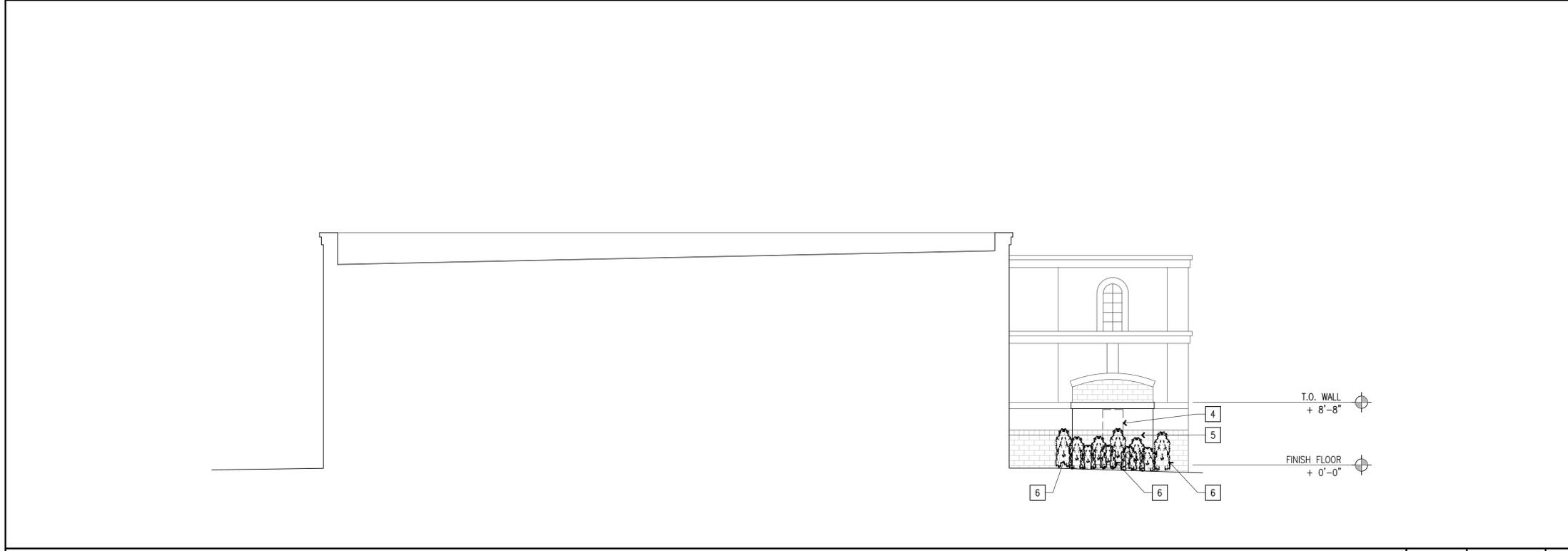
EAST ELEVATION SCALE: 1/8" = 1'-0" 0 2' 4' 8' 3



WEST ELEVATION SCALE: 1/8" = 1'-0" 0 2' 4' 8' 1

KEY NOTES:

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7. NEW CORNICE TO MATCH EXISTING BUILDING CORNICE



GENERATOR ENCLOSURE ELEVATION SCALE: 1/8" = 1'-0" 0 2' 4' 8' 2

KEYNOTES

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SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE	SHEET NUMBER
ELEVATIONS (VERIZON ONLY)	A-3.2.3

REMOTE RADIO UNITS (RRU'S)							
SECTOR	RRU UP or DOWN	RRU COUNT	RRU LOCATION (DISTANCE FROM ANTENNA)	RRU MIN. CLEARANCES			
				ABOVE	BELOW	SIDES	
SECTOR "A"	A1	UP	2	<12'	18"	8"	8"
	A2	UP	2	<12'	18"	8"	8"
	A3	UP	2	<12'	18"	8"	8"
	A4	UP	2	<12'	18"	8"	8"
SECTOR "B"	B1	UP	2	<12'	18"	8"	8"
	B2	UP	2	<12'	18"	8"	8"
	B3	UP	2	<12'	18"	8"	8"
	B4	UP	2	<12'	18"	8"	8"
SECTOR "C"	C1	UP	2	<12'	18"	8"	8"
	C2	UP	2	<12'	18"	8"	8"
	C3	UP	2	<12'	18"	8"	8"
	C4	UP	2	<12'	18"	8"	8"

NOTES TO CONTRACTOR:

- CONTRACTOR IS TO REFER TO AT&T 'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFDS) PRIOR TO CONSTRUCTION.
- CABLE LENGTHS WERE DETERMINED BASED ON VISUAL INSPECTION DURING SITE-WALK. CONTRACTOR TO VERIFY ACTUAL LENGTH DURING PRE-CONSTRUCTION WALK.

PROPOSED ANTENNA AND TRANSMISSION CABLE REQUIREMENTS								
SECTOR	PROPOSED TECHNOLOGY	ANTENNA		ANTENNA AZIMUTH	RAD CENTER	TRANSMISSION LINES (LENGTH FT. +/-)		
		AIR / HEX / 8-Port	SIZE			JUMPER LENGTH	DC CABLE (AWG #8)	
SECTOR "A"	A1	LTE	AIR	6'	100	30'-0"	<12'	+/- 160'
	A2	LTE	AIR	6'	100	30'-0"	<12'	+/- 160'
	A3	UMTS	AIR	6'	100	30'-0"	<12'	+/- 160'
	A4	LTE	AIR	6'	100	30'-0"	<12'	+/- 160'
SECTOR "B"	B1	LTE	AIR	6'	200	35'-0"	<12'	+/- 70'
	B2	LTE	AIR	6'	200	35'-0"	<12'	+/- 70'
	B3	UMTS	AIR	6'	200	35'-0"	<12'	+/- 70'
	B4	LTE	AIR	6'	200	35'-0"	<12'	+/- 70'
SECTOR "C"	C1	LTE	AIR	6'	300	35'-0"	<12'	+/- 210'
	C2	LTE	AIR	6'	300	35'-0"	<12'	+/- 210'
	C3	UMTS	AIR	6'	300	35'-0"	<12'	+/- 210'
	C4	LTE	AIR	6'	300	35'-0"	<12'	+/- 210'

NOT USED

SCALE: N.T.S

5

ANTENNA & RRU EQUIPMENT TABLES (AT&T)

SCALE: N.T.S

1

NOT USED

SCALE: N.T.S

6

NOT USED

SCALE: N.T.S

2

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SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE SHEET NUMBER

**AT&T
ANTENNA & RRU
EQUIPMENT TABLES** **A-4.0**

AERIAL MAP



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VIEW

A

SHEET

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25071 ALICIA DRIVE
DANA POINT, CA 92629

CONTACT: JUSTIN ROBINSON



BRIDGEPORT / NL0448.2

MARKETPLACE
24015 NEWHALL RANCH ROAD
SANTA CLARITA, CA 91354

VIEW

D

SHEET

4 / 6

AERIAL MAP



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AERIAL MAP



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SANTA CLARITA, CA 91354

VIEW

F

SHEET

6 / 6



SOUTH ELEVATION

FINISH KEY NOTES:

- | | |
|---|---|
| 1. CEMENT PLASTER, 'GLIDDEN' A0512 NUTRIA |  |
| 2. CEMENT PLASTER, 'GLIDDEN' ICI 545 20YY 56/264 SEAHORSE |  |
| 3. CEMENT PLASTER, 'GLIDDEN' A1847 PEGAN TREE |  |
| 4. CEMENT PLASTER, 'GLIDDEN' A1805 CANVASBACK |  |
| 5. CEMENT PLASTER, 'GLIDDEN' A0764 CREMELWORK |  |
| 6. CEMENT PLASTER, 'SHERWIN WILLIAMS' SW6271 SPECIAL GRAY |  |
| 7. CEMENT PLASTER, 'DUNN EDWARDS' DE1087 DASH OF EBONY |  |
| 8. CEMENT PLASTER, 'SHERWIN WILLIAMS' SW6073 PERFECT GREIGE |  |
| 9. CORNICE BAND, 'GLIDDEN' A0764 CREMELWORK |  |
| 10. FAUX FRP STOREFRONT, COLOR MATCH WITH ADJACENT COLOR |  |
| 11. C.M.U. BURNISHED FACED CENTER SCORED, 'ORCO' GRAY |  |
| 12. C.M.U. SPLIT FACED CENTER SCORED, 'ORCO' BROWN |  |

* PROPOSED COLORS MATCH EXISTING ADJACENT COLORS. ORIGINAL PAINT MANUFACTURER IS NO LONGER IN BUSINESS BY THEIR NAME, PROPOSED COLORS ARE INTENDED TO MATCH EXISTING BUILDING.

Bridgeport

Market Place
24015 Newhall Ranch Road
Santa Clarita, CA 91354





NORTH ELEVATION

FINISH KEY NOTES:

- | | |
|---|---|
| 1. CEMENT PLASTER, 'GLIDDEN' A0512 NUTRIA |  |
| 2. CEMENT PLASTER, 'GLIDDEN' ICI 545 20YY 56/269 SEAHORSE |  |
| 3. CEMENT PLASTER, 'GLIDDEN' A1847 PECAN TREE |  |
| 4. CEMENT PLASTER, 'GLIDDEN' A1805 CANVASBACK |  |
| 5. CEMENT PLASTER, 'GLIDDEN' A0764 CREMELWORK |  |
| 6. CEMENT PLASTER, 'SHERWIN WILLIAMS' SW6277 SPECIAL GRAY |  |
| 7. CEMENT PLASTER, 'DUNN EDWARDS' DE1087 DASH OF EBONY |  |
| 8. CEMENT PLASTER, 'SHERWIN WILLIAMS' SW6073 PERFECT GREIGE |  |
| 9. CORNICE BAND, 'GLIDDEN' A0764 CREMELWORK |  |
| 10. FAUX FRP STOREFRONT, COLOR MATCH WITH ADJACENT COLOR | |
| 11. C.M.U. BURNISHED FACED CENTER SCORED, 'ORCO' GRAY |  |
| 12. C.M.U. SPLIT FACED CENTER SCORED, 'ORCO' BROWN |  |

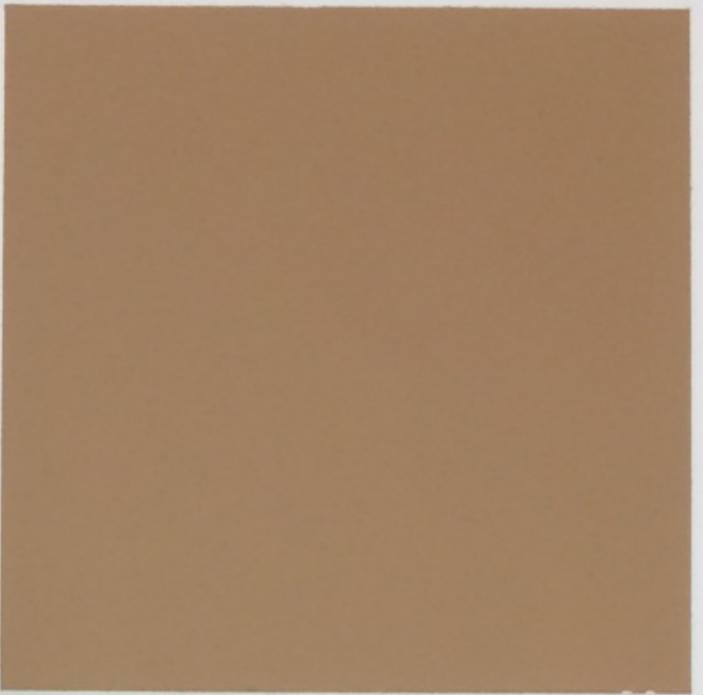
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1



CEMENT PLASTER,
'GLIDDEN' A0512 NUTRIA

2



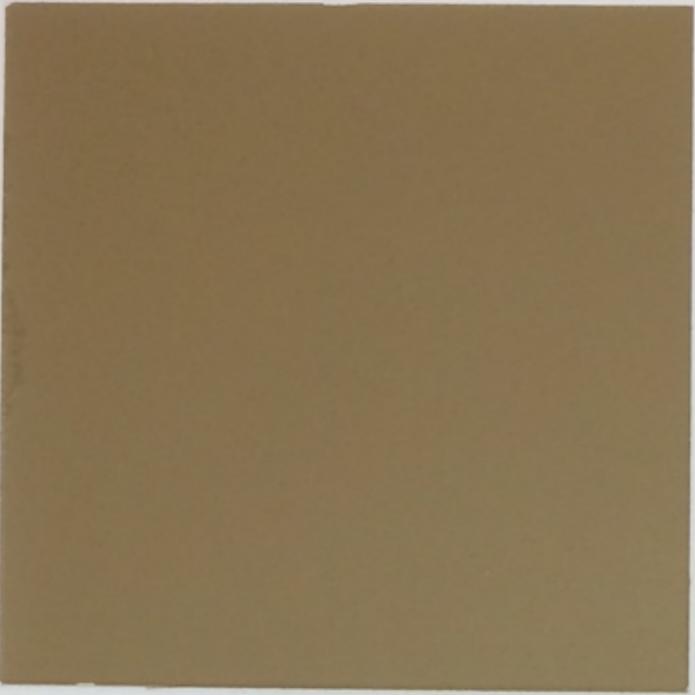
CEMENT PLASTER,
'GLIDDEN' ICI 545 20YY 56/269 SEAHORSE

3



CEMENT PLASTER,
'GLIDDEN' A1847 PECAN TREE

4



CEMENT PLASTER,
'GLIDDEN' A1805 CANVASBACK

5



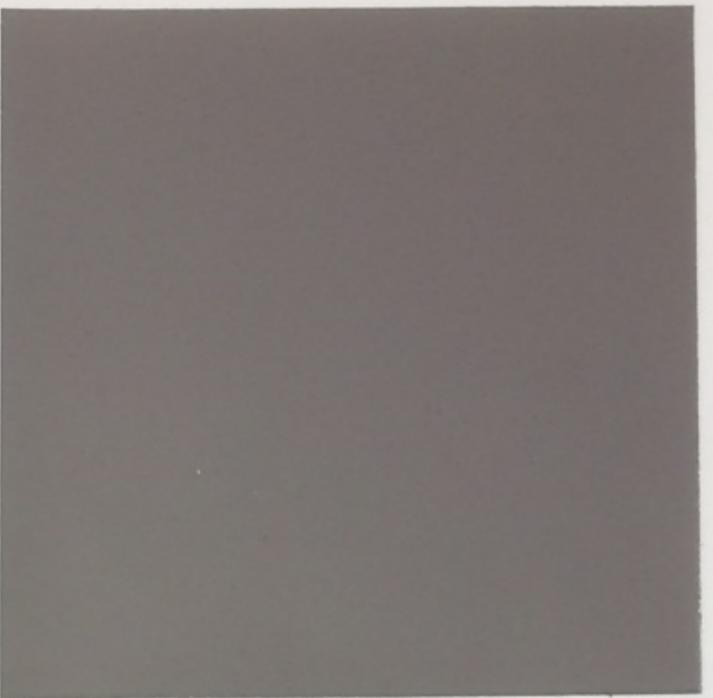
CEMENT PLASTER,
'GLIDDEN' A0764 CREMELWORK

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24015 Newhall Ranch Road
Santa Clarita, CA 91354

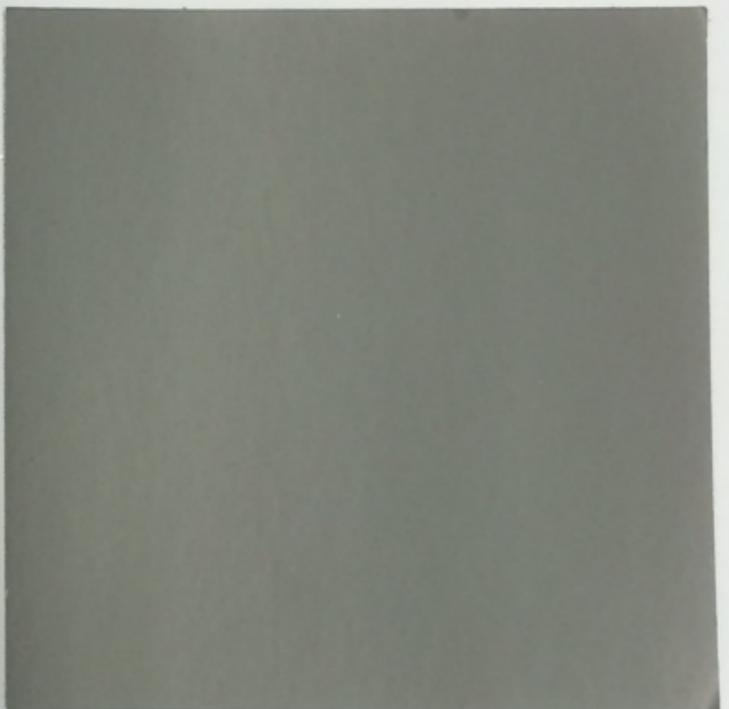


6



CEMENT PLASTER,
SHERWIN WILLIAMS' SW6211 SPECIAL GRAY

7



CEMENT PLASTER,
DUNN EDWARDS' DE1087 DASH OF EBONY

8



CEMENT PLASTER,
SHERWIN WILLIAMS' SW6073 PERFECT GREIGE



C.M.U. BURNISHED FACED CENTER SCORED,
'ORCO' GRAY



C.M.U. SPLIT FACED CENTER SCORED,
'ORCO' BROWN

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 **verizon**wireless



LETTER OF TRANSMITTAL

TO: C.R. CARNEY ARCHITECTS, INC. DATE: January 14, 2014
 12841 Newport Avenue JOB NO.: 2131-2014-01
 Tustin, CA 92780 SUBJECT: Verizon Wireless Bridgeport
 Acoustical Study
 City of Santa Clarita

ATTN: Mr. Terry Lazzaro

WE ARE FORWARDING: By Messenger By E-mail
 By Blueprinter By Fedex

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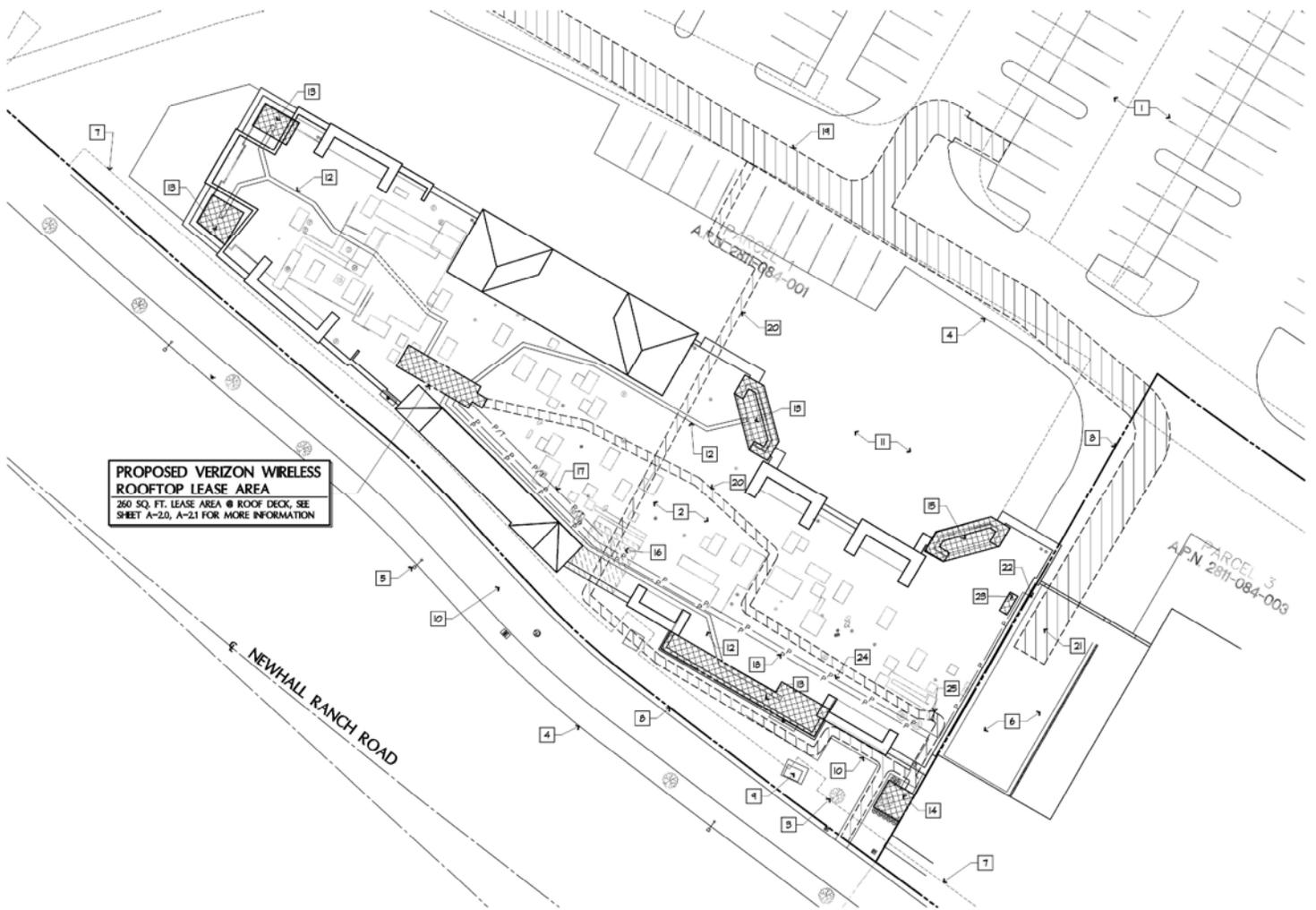
Enclosed please find the Verizon Wireless Bridgeport Acoustical Study, City of Santa Clarita.
 Please call me at (949) 474-0809, extension 208, if you have any questions.

BY: 

Michael Dickerson
 Noise/Air Specialist

COPIES TO:

VERIZON WIRELESS BRIDGEPORT ACOUSTICAL STUDY City of Santa Clarita, California



January 14, 2014

transportation planning • traffic engineering
acoustical engineering • parking studies

Mr. Terry Lazzaro
C.R. CARNEY ARCHITECTS, INC.
12841 Newport Avenue
Tustin, CA 92780

Subject: Verizon Wireless Bridgeport Acoustical Study, City of Santa Clarita

Dear Mr. Lazzaro:

RK ENGINEERING GROUP, INC. (RK) has completed an acoustical analysis for the proposed Verizon Wireless Bridgeport Project, located in the City of Santa Clarita. The project is located at 24015 Newhall Ranch Road, as indicated on Exhibit A. The proposed project's site plan is shown on Exhibit B. The acoustical parameters, including the City of Santa Clarita's Noise Standards, are included in Appendix A.

The proposed project was assessed with respect to on-site generated noise impacts to the existing residential units near the project site. The primary source of on-site generated noise would be stationary noise from the outdoor equipment cabinets along with an emergency generator. The stationary noise impacts, defined in the City of Santa Clarita Municipal Code are indicated in Section 3.0 of the report.

In order to assess the potential noise impacts, RK utilized the Verizon Wireless equipment specification and conducted a site visit to the project site to obtain ambient noise measurements. The noise levels represent the ambient noise that occurred in the area during the time of the measurements as indicated in Table 1 and Exhibit C.

The Verizon Wireless Bridgeport Project is expected to meet the required noise standards, as specified by the City of Santa Clarita with the recommendations in this report. RK ENGINEERING GROUP, INC. is pleased to provide the C.R. CARNEY ARCHITECTS, INC. with this acoustical analysis. If you have any questions regarding this study or need further review, please call us at (949) 474-0809.

Sincerely,
RK ENGINEERING GROUP, INC.



Mike Dickerson, INCE
Noise/Air Specialist



Robert Kahn, P.E.
Principal

Attachments

MD:dt/RK10242.doc
JN:2131-2014-01

4000 westerly place, suite 280
newport beach, california 92660
tel 949.474.0809 fax 949.474.0902
<http://www.rkengineer.com>

**VERIZON WIRELESS BRIDGEPORT
ACOUSTICAL STUDY
City of Santa Clarita, California**

Prepared for:

C.R. CARNEY ARCHITECTS, INC.
12841 Newport Avenue
Tustin, CA 92780

Prepared by:

RK ENGINEERING GROUP, INC.
4000 Westerly Place, Suite 280
Newport Beach, CA 92660

**Michael Dickerson
Robert Kahn, P.E.**



January 14, 2014

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1.0 Introduction

1.1 Purpose of Analysis and Study Objectives

The purpose of this acoustical assessment is to evaluate the potential noise impacts for the project study area and to recommend noise mitigation measures, if necessary, to minimize the potential noise impacts. This assessment was conducted and compared to the noise standards set forth by the Federal, State, and Local agencies. Consistent with the City's Noise Guidelines, a significant impact related to noise would occur if a proposed project is determined to result in:

- Exposure of persons to or generation of noise levels in excess of standards established in the local General Plan or noise ordinance, or applicable agencies.

The following is provided in this report:

- A description of the study area and the proposed project
- Information regarding the fundamentals of noise
- A description of the local noise guidelines and standards
- An exterior analysis of stationary noise impacts to the project study area

1.2 Site Location and Study Area

The project site is located at 24015 Newhall Ranch Road, in the City of Santa Clarita. The project site is bounded by Newhall Ranch Road to the south, McBean Parkway to the east, and existing commercial land use to the north. Land uses surrounding the project include existing residential to the north and south and recreational to the east, as demonstrated in Exhibit A. The project site is relatively flat and is located approximately 1,125 feet above sea level. Land uses surrounding the site is either higher than, lower than or equal to the elevation.

1.3 Proposed Project Description

The site will consist of 16 panel antenna mounted behind new screens on existing building, (1) microwave antenna mounted behind screens, (5) equipment cabinets on raised platform on existing building roof deck, (1) permanent DC generator with fuel tank within a 8 foot high CMU wall enclosure at grade and connection to nearby existing electrical and telephone utilities to service the site. The noise sources on project site are located approximately 220 feet from the southern residential units. It is expected that the equipment will operate over a 24 hour period. The emergency generator will operate during power loss situations.

This assessment analyzes the existing noise levels and calculates the future environmental

noise from the project site to the adjacent land uses. The primary source of stationary noise will come from the telecommunications equipment and the generator located at the project site. The site plan used for this analysis, provided by C.R. CARNEY ARCHITECTS, INC., is illustrated in Exhibit B.

2.0 Fundamentals of Noise

This section of the report provides basic information about noise and presents some of the terms used within the report.

2.1 Sound, Noise and Acoustics

Sound is a disturbance created by a moving or vibrating source and is capable of being detected by the hearing organs. Sound may be thought of as mechanical energy of a moving object transmitted by pressure waves through a medium to a human ear. For traffic, or stationary noise, the medium of concern is air. *Noise* is defined as sound that is loud, unpleasant, unexpected, or unwanted.

2.2 Frequency and Hertz

A continuous sound is described by its *frequency* (pitch) and its *amplitude* (loudness). Frequency relates to the number of pressure oscillations per second. Low-frequency sounds are low in pitch (bass sounding) and high-frequency sounds are high in pitch (squeak). These oscillations per second (cycles) are commonly referred to as Hertz (Hz). The human ear can hear from the bass pitch starting out at 20 Hz all the way to the high pitch of 20,000 Hz.

2.3 Sound Pressure Levels and Decibels

The *amplitude* of a sound determines its loudness. The loudness of sound increases or decreases, as the amplitude increases or decreases. Sound pressure amplitude is measured in units of micro-Newton per square meter (N/m^2), also called micro-Pascal (μPa). One μPa is approximately one hundred billionths (0.0000000001) of normal atmospheric pressure. Sound pressure level (SPL or L_p) is used to describe in logarithmic units the ratio of actual sound pressures to a reference pressure squared. These units are called decibels and abbreviated dB.

2.4 Addition of Decibels

Because decibels are on a logarithmic scale, sound pressure levels cannot be added or subtracted by simple plus or minus addition. When two (2) sounds of equal SPL are combined, they will produce an SPL 3 dB greater than the original single SPL. In other words, sound energy must be doubled to produce a 3 dB increase. If two (2) sounds differ by approximately 10 dB the higher sound level is the predominant sound.

2.5 Human Response to Changes in Noise Levels

In general, the healthy human ear is most sensitive to sounds between 1,000 Hz and 5,000 Hz, (A-weighted scale) and it perceives a sound within that range as being more intense than a sound with a higher or lower frequency with the same magnitude. For purposes of this report as well as with most environmental documents, the A-scale weighting is typically reported in terms of A-weighted decibel (dBA). Typically, the human ear can barely perceive the change in noise level of 3 dB. A change in 5 dB is readily perceptible, and a change in 10 dB is perceived as being twice or half as loud. As previously discussed, a doubling of sound energy results in a 3 dB increase in sound, which means that a doubling of sound energy (e.g. doubling the volume of traffic on a highway), would result in a barely perceptible change in sound level.

2.6 Noise Descriptors

Noise in our daily environment fluctuates over time. Some noise levels occur in regular patterns, others are random. Some noise levels are constant, while others are sporadic. Noise descriptors were created to describe the different time-varying noise levels. Following are the most commonly used noise descriptors along with brief definitions.

A-Weighted Sound Level

The sound pressure level in decibels as measured on a sound level meter using the A-weighted filter network. The A-weighting filter de-emphasizes the very low and very high frequency components of the sound in a manner similar to the response of the human ear. A numerical method of rating human judgment of loudness.

Ambient Noise Level

The composite of noise from all sources, near and far. In this context, the ambient noise level constitutes the normal or existing level of environmental noise at a given location.

Community Noise Equivalent Level (CNEL)

The average equivalent A-weighted sound level during a 24-hour day, obtained after addition of five (5) decibels to sound levels in the evening from 7:00 to 10:00 PM and after addition of ten (10) decibels to sound levels in the night before 7:00 AM and after 10:00 PM.

Decibel (dB)

A unit for measuring the amplitude of a sound, equal to 20 times the logarithm to the base 10 of the ratio of the pressure of the sound measured to the reference pressure, which is 20 micro-pascals.

dB(A)

A-weighted sound level (see definition above).

Equivalent Sound Level (LEQ)

The sound level corresponding to a steady noise level over a given sample period with the same amount of acoustic energy as the actual time varying noise level. The energy average noise level during the sample period.

Habitable Room

Any room meeting the requirements of the Uniform Building Code or other applicable regulations which is intended to be used for sleeping, living, cooking or dining purposes, excluding such enclosed spaces as closets, pantries, bath or toilet rooms, service rooms, connecting corridors, laundries, unfinished attics, foyers, storage spaces, cellars, utility rooms, and similar spaces.

L(n)

The A-weighted sound level exceeded during a certain percentage of the sample time. For example, L10 in the sound level exceeded 10 percent of the sample time. Similarly L50, L90 and L99, etc.

Noise

Any unwanted sound or sound which is undesirable because it interferes with speech and hearing, or is intense enough to damage hearing, or is otherwise annoying. The State Noise Control Act defines noise as "...excessive undesirable sound...".

Outdoor Living Area

Outdoor spaces that are associated with residential land uses typically used for passive recreational activities or other noise-sensitive uses. Such spaces include patio areas, barbecue areas, jacuzzi areas, etc. associated with residential uses; outdoor patient recovery or resting areas associated with hospitals, convalescent hospitals, or rest homes; outdoor areas associated with places of worship which have a significant role in services or other noise-sensitive activities; and outdoor school facilities routinely used for educational purposes which may be adversely impacted by noise. Outdoor areas usually not included in this definition are: front yard areas, driveways, greenbelts, maintenance areas and storage areas associated with residential land uses; exterior areas at hospitals that are not used for patient activities; outdoor areas associated with places of worship and principally used for short-term social gatherings; and, outdoor areas associated with school facilities

that are not typically associated with educational uses prone to adverse noise impacts (for example, school play yard areas).

Percent Noise Levels

See L(n).

Sound Level (Noise Level)

The weighted sound pressure level obtained by use of a sound level meter having a standard frequency-filter for attenuating part of the sound spectrum.

Sound Level Meter

An instrument, including a microphone, an amplifier, an output meter, and frequency weighting networks for the measurement and determination of noise and sound levels.

Single Event Noise Exposure Level (SENEL)

The dBA level which, if it lasted for one (1) second, would produce the same A-weighted sound energy as the actual event.

2.7 Traffic Noise Prediction

Noise levels associated with traffic depend on a variety of factors: (1) volume of traffic, (2) speed of traffic, (3) auto, medium truck (2 – 6 wheels) and heavy truck percentage (3 axle and greater), and sound propagation. The greater the volume of traffic, higher speeds and truck percentages equate to a louder volume in noise. A doubling of the Average Daily Traffic (ADT) along a roadway will increase noise levels by approximately 3 dB; reasons for this are discussed in the sections above.

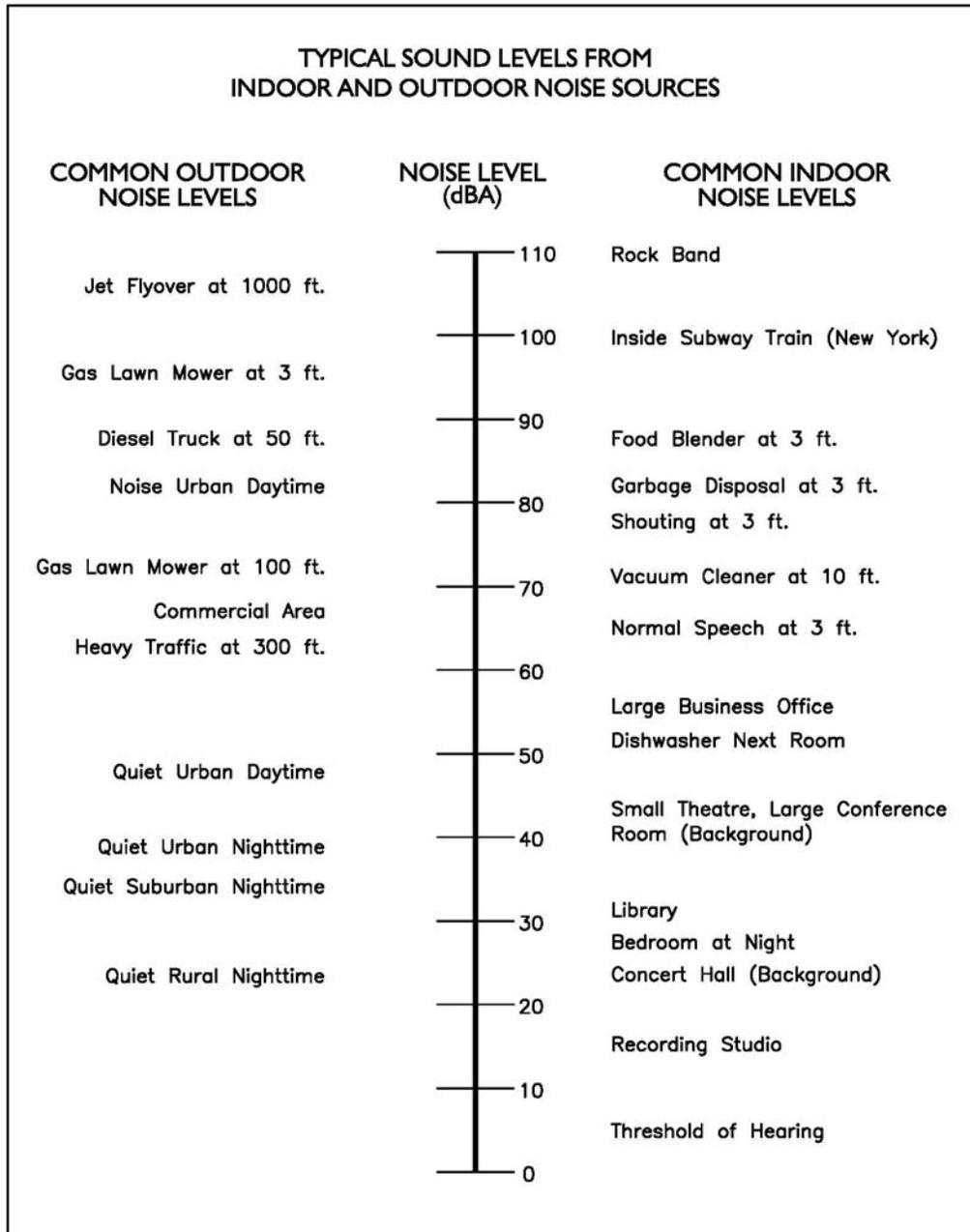
2.8 Sound Propagation

As sound propagates from a source it spreads geometrically. Sound from a small, localized source (i.e., a point source) radiates uniformly outward as it travels away from the source in a spherical pattern. The sound level attenuates at a rate of 6 dB per doubling of distance. The movement of vehicles down a roadway makes the source of the sound appear to propagate from a line (i.e., line source) rather than a point source. This line source results in the noise propagating from a roadway in a cylindrical spreading versus a spherical spreading that results from a point source. The sound level attenuates for a line source at a rate of 3 dB per doubling of distance.

As noise propagates from the source, it is affected by the ground and atmosphere. Noise models use hard site (reflective surfaces) and soft site (absorptive surfaces) to help calculate

predicted noise levels. Hard site conditions assume no excessive ground absorption between the noise source and the receiver. Soft site conditions such as grass, soft dirt or landscaping attenuate noise at an additional rate of 1.5 dB per doubling of distance. When added to the geometric spreading, the excess ground attenuation results in an overall noise attenuation of 4.5 dB per doubling of distance for a line source and 6.0 dB per doubling of distance for a point source.

Research has demonstrated that atmospheric conditions can have a significant effect on noise levels when noise receivers are located 200 feet from a noise source. Wind, temperature, air humidity and turbulence can further impact how far sound can travel.



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3.0 Regulatory Setting

The proposed project is located in the City of Santa Clarita and noise regulations are addressed through the various federal, state, and local government agencies. The agencies responsible for regulating noise are discussed below.

3.1 Federal Regulations

The adverse impact of noise was officially recognized by the federal government in the Noise Control Act of 1972, which serves three (3) purposes:

- Publicize noise emission standards for interstate commerce
- Assist state and local abatement efforts
- Promote noise education and research

The Federal Office of Noise Abatement and Control (ONAC) was originally tasked with implementing the Noise Control Act. However, it was eventually eliminated leaving other federal agencies and committees to develop noise policies and programs. Some examples of these agencies are as follows: The Department of Transportation (DOT) assumed a significant role in noise control through its various agencies; The Federal Aviation Agency (FAA) is responsible to regulate noise from aircraft and airports; The Federal Highway Administration (FHWA) is responsible to regulate noise from the interstate highway system; The Occupational Safety and Health Administration (OSHA) is responsible for the prohibition of excessive noise exposure to workers.

The Federal government and the State advocate that local jurisdiction use their land use regulatory authority to arrange new development in such a way that “noise sensitive” uses are either prohibited from being constructed adjacent to a highway or, or alternatively that the developments are planned and constructed in such a manner that potential noise impacts are minimized.

Since the Federal government and the State have preempted the setting of standards for noise levels that can be emitted by the transportation source, the County is restricted to regulating the noise generated by the transportation system through nuisance abatement ordinances and land use planning.

3.2 State Regulations

Established in 1973, the California Department of Health Services Office of Noise Control (ONC) was instrumental in developing regulatory tools to control and abate noise for use by local agencies. One significant model is the “Land Use Compatibility for Community Noise Environments Matrix.” The matrix allows the local jurisdiction to clearly delineate compatibility of sensitive uses with various incremental levels of noise.

The State of California has established noise insulation standards as outlined in Title 24 and the Uniform Building Code (UBC) which in some cases requires acoustical analyses to outline exterior noise levels and to ensure interior noise levels do not exceed the interior threshold. The State mandates that the legislative body of each county and city adopt a noise element as part of its comprehensive general plan. The local noise element must recognize the land use compatibility guidelines published by the State Department of Health Services. The guidelines rank noise land use compatibility in terms of normally acceptable, conditionally acceptable, normally unacceptable, and clearly unacceptable.

3.3 City of Santa Clarita Noise Regulations

The City of Santa Clarita outlines their noise regulations and standards within the Noise Ordinance from the Municipal Code (Appendix A). For purposes of this analysis, the City of Santa Clarita’s Noise Ordinance was used to determine the stationary noise impacts from the proposed project to the adjacent land uses.

Stationary Noise Regulation

The City of Santa Clarita outlines the sound level limits for projects that are adjacent to residential units. In order to demonstrate compliance, the project must demonstrate that it will not exceed the City’s noise criteria limits. Chapter 11.44 of the municipal code specifies the limits set-forth by the City.

		Cumulative Time Period			
		Time Average	1 Minute	5 Minutes	15 Minutes
		L_{eq}	L_2	L_8	L_{25}
Exterior	Daytime (7AM - 10PM)	60	80	70	65
	Nighttime (10PM - 7AM)	50	70	60	55

The project must not exceed the limits set-forth in the figure above. In the event the existing ambient noise level exceeds the noise criteria set-forth by the City, the project must not further increase the noise level above the standard.

It should be noted that the measured ambient noise level at certain locations exceeded the standard; therefore the project intent is to not further increase the ambient conditions.

4.0 Study Method and Procedures

To determine the future noise level impact, RK conducted short-term noise measurements at the proposed project site location. Future noise levels were estimated by extrapolating the existing noise data and logarithmically adding the baseline noise levels.

The following describes the measurement procedures, measurement locations, and noise modeling procedures and assumptions.

4.1 Measurement Procedures and Criteria

Noise measurements are taken to determine the existing noise levels. A noise receiver or receptor is any location in the noise analysis in which noise might produce an impact. The following criteria are used to select measurement locations and receptors:

- Locations expected to receive the highest noise impacts, such as first row of houses
- Locations that are acoustically representative and equivalent of the area of concern
- Human land usage
- Sites clear of major obstruction and contamination

RK conducted the sound level measurements in accordance to the City of Santa Clarita and Caltrans technical noise specifications. All measurement equipment meets American National Standards Institute (ANSI) specifications for sound level meters (S1.4-1983 identified in Chapter 19.68.020.AA). The following gives a brief description of the Caltrans Technical Noise Supplement procedures for sound level measurements:

- Microphones for sound level meters were placed five (5) feet above the ground for all measurements
- Sound level meters were calibrated (Larson Davis CAL 200) before and after each measurement
- Following the calibration of equipment, a wind screen was placed over the microphone
- Frequency weighting was set on "A" and slow response
- Results of the long-term noise measurements were recorded on field data sheets
- During any short-term noise measurements any noise contaminations such as barking dogs, local traffic, lawn mowers, or aircraft fly-overs were noted
- Temperature and sky conditions were observed and documented

4.1.1 Noise Measurements

Using a Larson Davis 712 Type 2 sound level meter, four (4) several short-term (10-minute) noise measurements were recorded at various locations near the site. The Leq, Lmin, Lmax,

L2, L8, L25, and L50 statistical data was recorded over 10-minute periods. The information was utilized to define the noise characteristics for the project.

4.1.2 Noise Measurement Locations

Noise monitoring locations were selected based on the best locations to represent existing noise conditions and sensitive noise areas. Short-term noise monitoring Location 1 (ST-1) is located south of the proposed project, approximately one hundred and seventy-five (175) feet from the proposed property line. ST-1 describes the existing noise environment during the daytime near the backyard of the residential units to the south. Short-term noise monitoring location 2 (ST-2) and 3 (ST-3) are located south of the proposed project, approximately twenty (20) feet from the proposed project site. Short-term noise monitoring location 4 (ST-4) is located north of the proposed project, approximately fifty (50) feet from the proposed project site. Table 1 indicates the results of the noise measurement results at the proposed site.

Exhibit C illustrates the proximity of the noise monitoring locations. Appendix B includes photos, field sheet, and measured noise data.

4.1.3 Noise Measurement Timing and Climate

Short-term noise measurements were recorded during daytime hours and were recorded between the hours of 11:00 AM and 1:00 PM, on January 8, 2014. Noise measurements were conducted in 10-minute intervals during the indicated time schedule.

At the beginning and ending of the monitoring process, the sky was clear, the temperature was approximately 57 degrees Fahrenheit, and the wind was less than three miles per hour.

4.2 Stationary Noise Modeling

The stationary noise was projected using a computer program that replicates the FHWA Noise Prediction Model (FHWA-RD-77-108). The FHWA model arrives at the predicted noise level through a series of adjustments to the reference energy noise level. For each stationary source, the referenced noise level was applied to the model. The model outputs the projected noise level based on the following key parameters:

- Measured referenced noise level – (e.g. how loud a source is at a specific distance)
- Vertical and horizontal distances (sensitive receptor distance from noise source)
- Noise barrier vertical and horizontal distances (noise barrier distance from sound source and receptor).
- Typical noise source spectra
- Topography

Typical noise levels associated with a Verizon Wireless Equipment at a distance of 5 feet from the service center resulted in noise levels of 62.0 dBA Leq, as measured by RK Engineering Group, Inc. (Table 2). The noise levels produced by the emergency generator are also indicated in Table 2. Information regarding the generator is located in Appendix D.

The adjusted noise levels are based on the distance of the receptor location relative to the noise source, local topography, and the recommended noise barrier height (if required). Noise calculation worksheets are located in Appendix C.

To determine the projected exterior stationary noise levels, RK logarithmically added the existing ambient noise levels to the stationary noise levels. Tables 3 and 4 indicate the estimated future exterior noise levels at the various sensitive receptor locations.

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5.0 Existing Noise Environment

Ambient noise measurements were conducted at various locations near site. Noise measurement data indicates that local traffic is the main sources of noise impacting the surrounding area.

5.1 Short-Term Noise Measurement Results

The results of the short-term measurements are presented in Table 1. The noise measurements recorded the sound pressure levels in dBA in 3-second intervals, which have been used to calculate the minimum, maximum, L2, L8., L25, L50, and Leq averaged over 10-minute intervals for each noise measurement. Noise monitoring was conducted at four (4) different locations to document existing ambient noise levels. During the monitoring phase weather conditions were documented. Noise monitoring data printouts are included in Appendix B.

Noise measurement data indicates that the proposed project site experience noise ranging from 56.3 to 67.4 dBA Leq during daytime hours. The project site and the surrounding area experiences noise as a result of local traffic. Noise levels vary depending on distance from centerline of roadway, time of day, and traffic speeds and activities. As previously mentioned, the measured ambient noise level at certain locations exceeded the standard; therefore the existing ambient noise measurements become the standard. The project intent is to not further increase the ambient conditions.

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6.0 Future Noise Environment Impacts and Mitigation

6.1 Future Exterior Noise

This assessment analyzes the existing noise environment at the proposed project site location, analyzes future potential noise impacts from the proposed Project, and compares the results to the City's Noise Standards. The analysis details the estimated exterior noise levels and provides recommendations.

6.1.1 Stationary Source Noise

Tables 3 and 4 indicate the future noise level impacts to the nearest sensitive receptor location. As previously described the City's stationary noise standard is exceeded by the ambient noise conditions, therefore the project must not further increase the ambient noise level. As demonstrated in Tables 3 and 4, the change in noise level as a result of the project is approximately 0.0 dBA.

The stationary noise impact thresholds, as defined by the City's Municipal Code, are shown in *Figure 1 Section 3.1.1*. The noise code establishes allowable noise levels during certain times of the day. This analysis reviews the permissible noise levels during typical operating hours of 7:00 AM – 9:00 PM (daytime) and 9:00 PM – 7:00 AM (nighttime).

Typical noise levels associated with a Verizon Wireless Equipment at a distance of 5 feet from the service center resulted in noise levels of 62.0 dBA Leq, as measured by RK Engineering Group, Inc. (Table 2). The noise levels produced by the emergency generator are also indicated in Table 2. Information regarding the generator is located in Appendix D.

The project design includes the cell equipment cabinets to be located on top of the building and an 8 foot enclosure for the emergency generator. It is anticipated that the change in noise level will not be noticeable to the residential units.

The stationary noise impacts associated with the proposed project would include outdoor equipment cabinets and an emergency generator which will be in operation only during emergency situations. Table 3 indicates the noise level projections during typical operations. The noise level will not change at the residential units to the south and therefore it is anticipated there would be no significant impact

Table 4 indicates the noise level projections during emergency (or general maintenance) operations. The noise level will not change at the residential units to the south during emergency (or general maintenance) and therefore it is anticipated there would be no significant impact.

6.2 Summary of Noise Reduction Measures

The project will not have an impact to the surrounding land uses; however to ensure noise levels are kept to a minimum noise reduction measures are provided in Exhibit D. The following noise reduction measures are recommended:

- Ensure the emergency generator is enclosed by an 8 foot high equipment enclosure.
- Ensure equipment is properly maintained on a regular basis.

Exhibits

Exhibit A Location Map

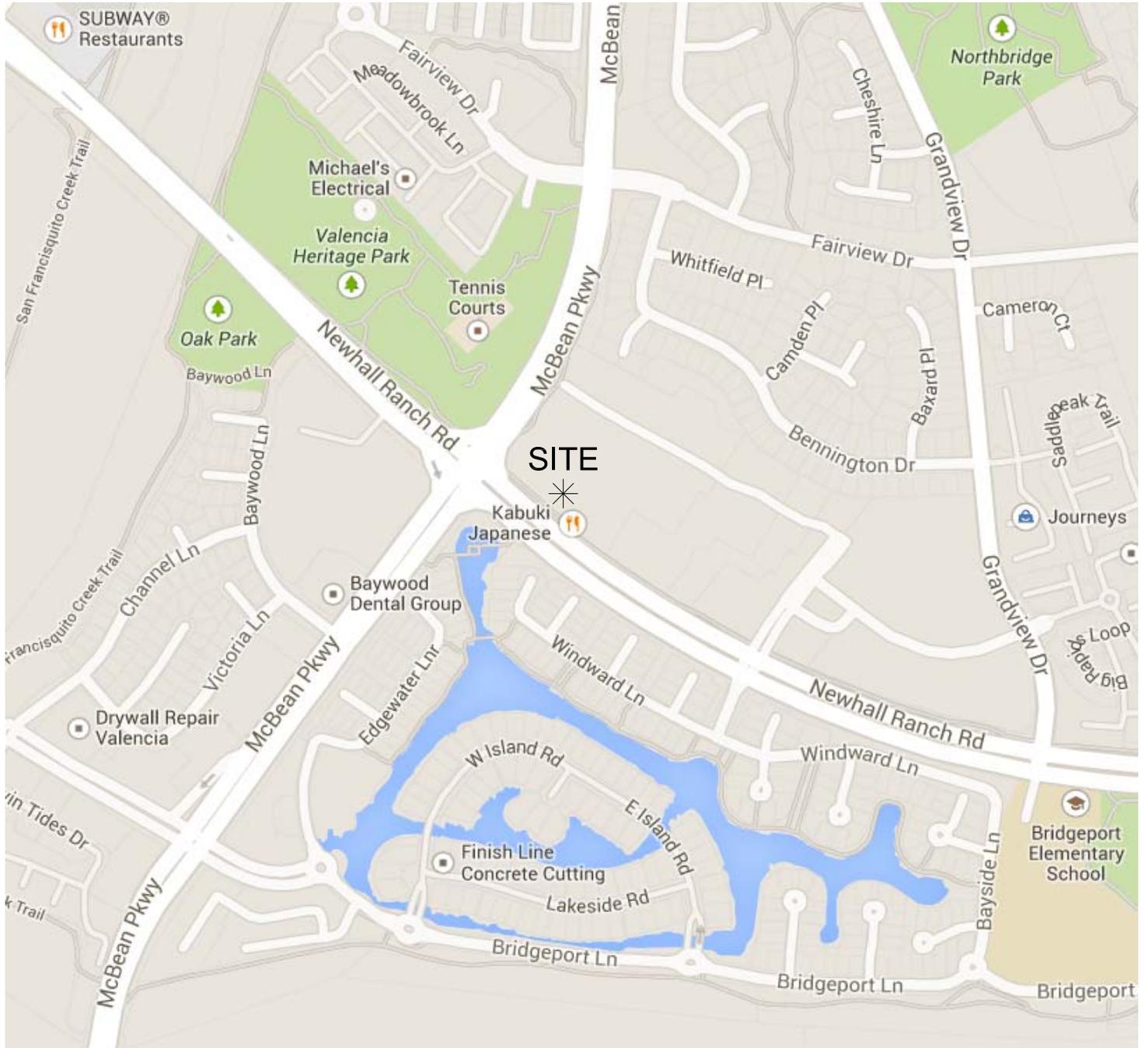
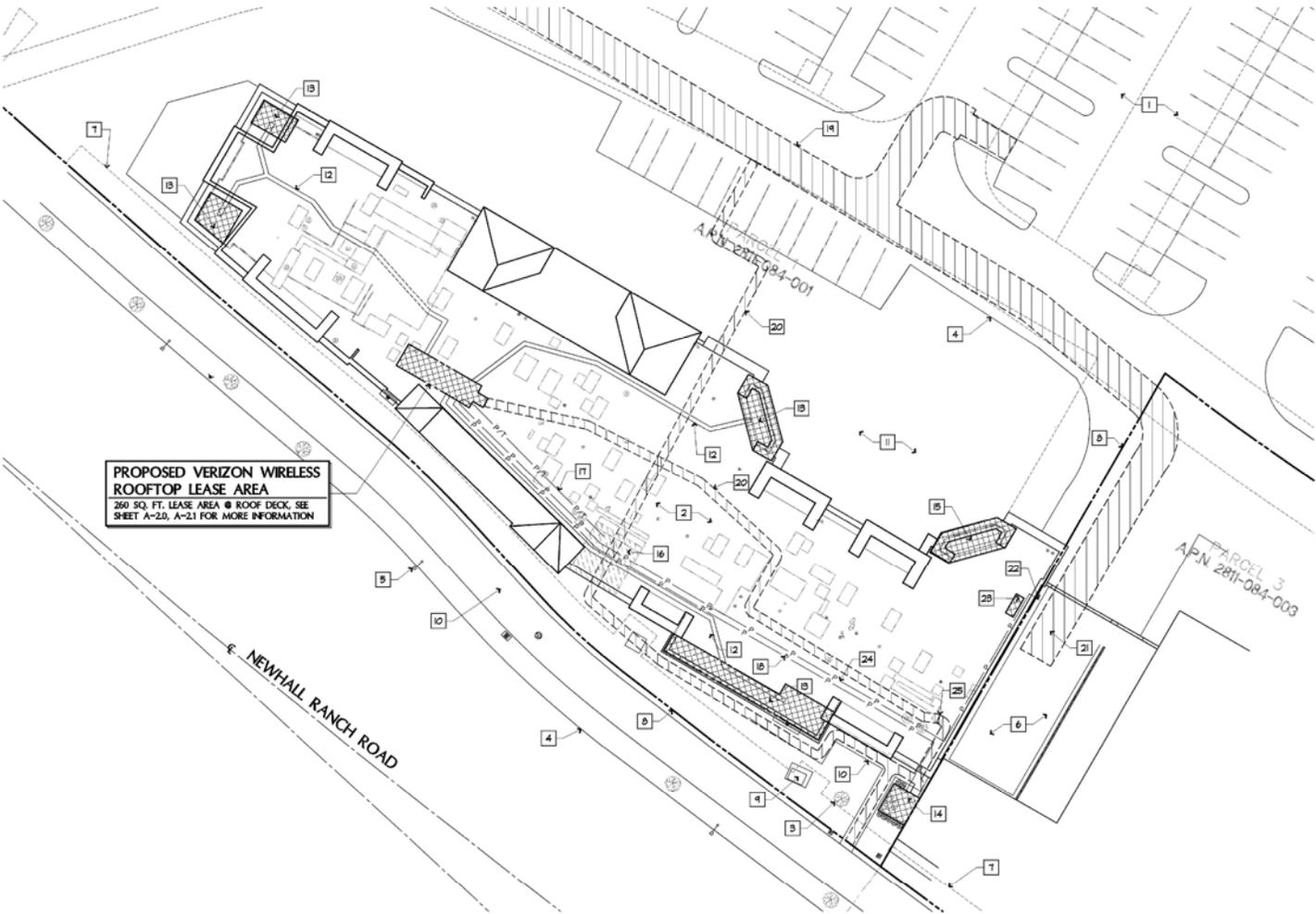


Exhibit B
Site Plan



**PROPOSED VERIZON WIRELESS
ROOFTOP LEASE AREA**
260 SQ. FT. LEASE AREA @ ROOF DECK, SEE
SHEET A-2.0, A-2.1 FOR MORE INFORMATION

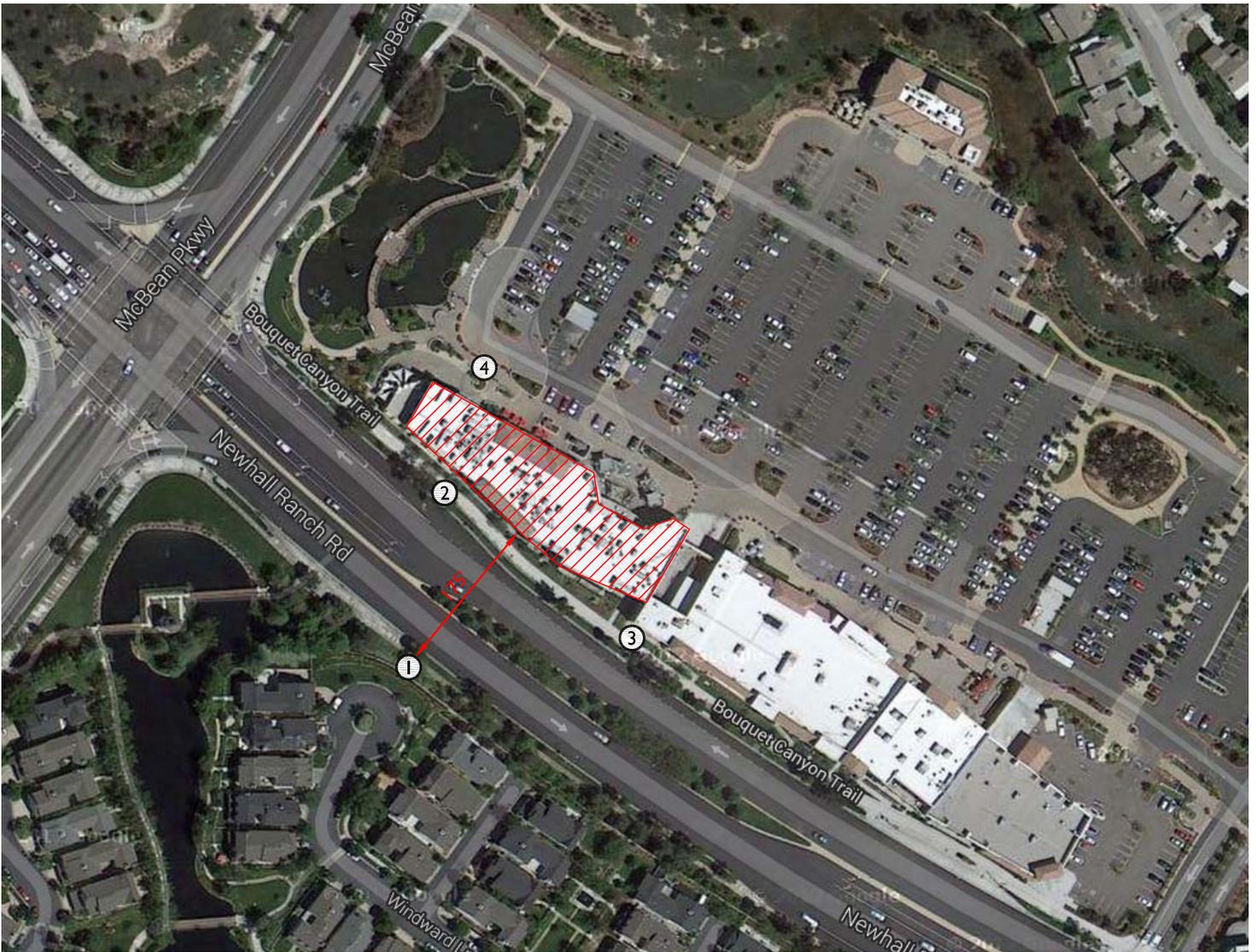
NEWHALL RANCH ROAD

PARCEL 3
APN 2811-084-003

APN 2811-084-001



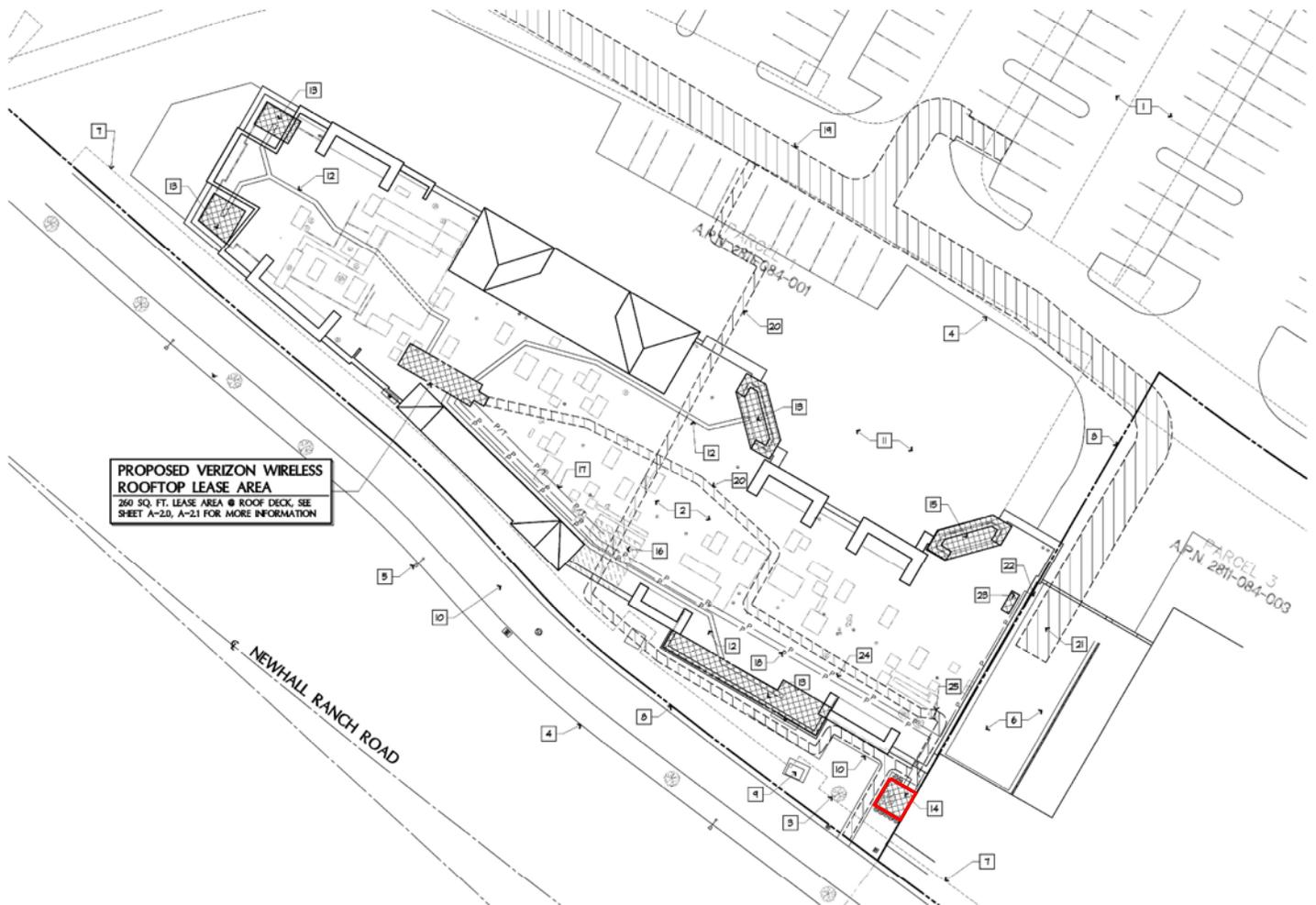
Exhibit C
Noise Monitoring Locations



Legend:



-  = Proposed Project Area
-  = Noise Monitoring Location



Recommendations:
 * Ensure equipment is properly maintained on a regular basis.

Legend:

— = Emergency Generator 8' Wall Barrier Enclosure



Tables

TABLE 1
Noise Level Measurements (dBA)^{1,2}

Daytime Measured Noise Level (dBA)

Site No.	Time Started ²	Leq	L _{max}	L _{min}	L ₂	L ₈	L ₂₅	L ₅₀	Comments
1	11:25 AM	66.5	76.6	53.5	74.5	70.9	66.5	64.0	Measurement taken approximately 175 ft from proposed project site.
2	11:40 AM	66.1	75.6	54.1	72.9	70.7	66.9	63.6	Measurement taken approximately 20 ft from proposed project site.
3	11:55 AM	67.4	84.5	50.1	75.0	71.5	68.1	62.0	Measurement taken approximately 20 ft from proposed project site.
4	12:10 PM	56.3	66.3	49.5	61.7	59.7	56.9	55.4	Measurement taken approximately 50 ft from proposed project site.

Nighttime Estimated Noise Level (dBA)³

Site No.	Time Started ²	Leq	L _{max}	L _{min}	L ₂	L ₈	L ₂₅	L ₅₀	Comments
1	12:00 AM	61.5	71.6	48.5	69.5	65.9	61.5	59.0	Measurement taken approximately 175 ft from proposed project site.
2	12:10 AM	61.1	70.6	49.1	67.9	65.7	61.9	58.6	Measurement taken approximately 20 ft from proposed project site.
3	12:20 AM	62.4	79.5	45.1	70.0	66.5	63.1	57.0	Measurement taken approximately 20 ft from proposed project site.
4	12:30 PM	51.3	61.3	44.5	56.7	54.7	51.9	50.4	Measurement taken approximately 50 ft from proposed project site.

¹ Noise measurements taken on January 13, 2014.

² Each noise measurement was taken for approximately 10 minutes at the site.

³ The nighttime noise level was estimated by reducing the daytime noise level by 5 dBA.

TABLE 2
Referenced and Adjusted Noise Level Measurements

Source	Referenced Measured Noise Levels (dBA) ¹						
	Distance from Reference Source (feet)	L _{eq}	L _{max}	L ₂	L ₈	L ₂₅	L ₅₀
Verizon Wireless Equipment	5.0	62.0	62.0	62.0	62.0	62.0	62.0
Emergency Generator	23.0	65.0	65.0	65.0	65.0	65.0	65.0

Source	Residential Units to the South Adjusted Noise Levels (dBA) ²						
	Distance from Reference Source (feet)	L _{eq}	L _{max}	L ₂	L ₈	L ₂₅	L ₅₀
Verizon Wireless Equipment	220	10.6	10.6	10.6	10.6	10.6	10.6
Emergency Generator	220	34.6	34.6	34.6	34.6	34.6	34.6

¹ Referenced noise levels measured by RK Engineering Group, Inc. 01/20/2009.

² Adjusted Noise Levels (dBA) were projected to the nearest sensitive land uses (residential units to the south of the site) from the noise source. Noise level projections were based on distance from source and receptor, equipment noise specifications, and project design features such as the proposed equipment enclosure for the emergency generator.

TABLE 3
Projected Day/Nighttime Exterior Noise Levels at Southern Residential Units
During Typical Use (dBA)¹

	Source	1st Floor Adjusted Noise Levels (dBA)						
		Distance from Reference Source (feet)	L _{eq}	L _{max}	L ₂	L ₈	L ₂₅	L ₅₀
Daytime (7 AM - 9 PM)	Verizon Wireless Equipment ²	220	10.6	10.6	10.6	10.6	10.6	10.6
	Existing Ambient Measurement ³	--	66.5	76.6	74.5	70.9	66.5	64.0
	Total Combined Noise Impact ⁴	--	66.5	76.6	74.5	70.9	66.5	64.0
	City of Santa Clarita not to exceed Noise Standards ⁵	--	60.0	N/A	80.0	70.0	65.0	N/A
	Change in Noise Level as a result of Project ⁶	--	0.0	N/A	0.0	0.0	0.0	N/A

	Source	1st Floor Adjusted Noise Levels (dBA)						
		Distance from Reference Source (feet)	L _{eq}	L _{max}	L ₂	L ₈	L ₂₅	L ₅₀
Nighttime (9 PM - 7 AM)	Verizon Wireless Equipment ²	220	10.6	10.6	10.6	10.6	10.6	10.6
	Existing Ambient Measurement ³	--	61.5	71.6	69.5	65.9	61.5	59.0
	Total Combined Noise Impact ⁴	--	61.5	71.6	69.5	65.9	61.5	59.0
	City of Santa Clarita not to exceed Noise Standards ⁵	--	50.0	N/A	70.0	60.0	55.0	N/A
	Change in Noise Level as a result of Project ⁶	--	0.0	N/A	0.0	0.0	0.0	N/A

¹ Exterior noise levels calculated to the facade of residential units.

² See Table 2 and Appendix C for reference level to adjusted level conversion calculation printout.

³ Refer to Table 1 for ambient measurement.

⁴ See Appendix C for dBA calculations.

⁵ A 5 dB penalty is added to the City's not to exceed standard, per City Standard for steady whine, screech or hum noise.

⁶ The project is not expected to increase the overall noise levels.

TABLE 4
Projected Day/Nighttime Exterior Noise Levels at Southern Residential Units
During Emergency Use (dBA)¹

	Source	Distance from Reference Source (feet)	1st Floor Adjusted Noise Levels (dBA)					
			L _{eq}	L _{max}	L ₂	L ₈	L ₂₅	L ₅₀
Daytime (7 AM - 9 PM)	Verizon Wireless Equipment ²	220	10.6	10.6	10.6	10.6	10.6	10.6
	Emergency Generator ²	220	34.6	34.6	34.6	34.6	34.6	34.6
	Existing Ambient Measurement ³	--	66.5	76.6	74.5	70.9	66.5	64.0
	Total Combined Noise Impact ⁴	--	66.5	76.6	74.5	70.9	66.5	64.0
	City of Santa Clarita not to exceed Noise Standards ⁵	--	60.0	N/A	80.0	70.0	65.0	N/A
	Change in Noise Level as a result of Project ⁶	--	0.0	N/A	0.0	0.0	0.0	N/A

	Source	Distance from Reference Source (feet)	1st Floor Adjusted Noise Levels (dBA)					
			L _{eq}	L _{max}	L ₂	L ₈	L ₂₅	L ₅₀
Nighttime (9 PM - 7 AM)	Verizon Wireless Equipment ²	220	10.6	10.6	10.6	10.6	10.6	10.6
	Emergency Generator ²	220	34.6	34.6	34.6	34.6	34.6	34.6
	Existing Ambient Measurement ³	--	61.5	71.6	69.5	65.9	61.5	59.0
	Total Combined Noise Impact ⁴	--	61.5	71.6	69.5	65.9	61.5	59.0
	City of Santa Clarita not to exceed Noise Standards ⁵	--	50.0	N/A	70.0	60.0	55.0	N/A
	Change in Noise Level as a result of Project ⁶	--	0.0	N/A	0.0	0.0	0.0	N/A

¹ Exterior noise levels calculated to the front yard of residential units.

² See Table 2 and Appendix C for reference level to adjusted level conversion printout.

³ Refer to Table 1 for ambient measurement.

⁴ See Appendix C for dBA calculations

⁵ A 5 dB penalty is added to the City's not to exceed standard, per City Standard for steady whine, screech or hum noise

⁶ The project is not expected to increase the overall noise levels.

Appendices

Appendix A

City of Santa Clarita
Noise Element and Noise Ordinance

Chapter 11.44 NOISE LIMITS

Sections:

11.44.010	Declaration of Policy.
11.44.020	Definitions.
11.44.030	Sound Level Measurements.
11.44.040	Noise Limits.
11.44.050	Loud, Unnecessary and Unusual Noises Prohibited—Standards for Determining.
11.44.060	Special Noise Sources—Radios, Television Sets and Similar Devices.
11.44.070	Special Noise Sources—Machinery, Fans and Other Mechanical Devices.
11.44.080	Special Noise Sources—Construction and Building.
11.44.090	Special Noise Sources—Amplified Sound.
11.44.092	Acts Constituting Disturbing, Excessive, Loud, Offensive Noise.
11.44.094	Loud Parties Are a Public Nuisance.
11.44.096	Reimbursement for Law Enforcement Costs.
11.44.100	Exemptions from Chapter.
11.44.110	Violations—Infractions, Misdemeanors—Remedies.
11.44.120	Violations—Additional Remedies, Injunctions.
11.44.130	Enforcement.
11.44.140	Severability.

11.44.010 Declaration of Policy.

It is declared to be the policy of the City to prohibit unnecessary, excessive and annoying noises from all sources subject to its police power. At certain levels noises are detrimental to the health and welfare of the citizenry, and, in the public interests, such noise levels shall be systematically proscribed. (Ord. 89-29, 1/23/90)

11.44.020 Definitions.

Unless the context otherwise clearly indicates, the words and phrases used in this chapter are defined as follows:

“Commercial purpose” shall mean and include the use, operation or maintenance of any sound-amplifying equipment for the purpose of advertising any business, or any goods, or any services, or for the purpose of attracting the attention of the public to, or advertising for, or soliciting patronage or customers to or for any performance, show, entertainment, exhibition or event, for the purpose of demonstrating any such sound equipment.

“Day” shall mean the time period from seven a.m. to nine p.m.

“Decibel” (dB) shall mean a unit for expressing the ratio between two (2) quantities of acoustical signal powers; the number of decibels corresponding to the ratio of two (2) amounts of power is ten (10) times the logarithm to the base ten (10) of this ratio.

“Emergency work” shall mean work made necessary to restore property to a safe condition following a public calamity, or work required to protect persons or property from an imminent exposure to danger, or work by private or public utilities when

restoring utility service.

“Impulsive sound” means a short-duration sound (such as might be produced by the impact of a drop hammer or a pile driver) with one (1) second or less duration.

“Motor vehicles” shall include, but not be limited to, automobiles, trucks, motorcycles, minibikes and go-carts.

“Night” shall mean the time period from nine p.m. to seven a.m.

“Sound” is the sensation perceived by the sense of hearing. For the purpose of this chapter, the terms “sound” and “noise” shall be used synonymously.

“Noncommercial purpose” shall mean the use, operation or maintenance of any sound equipment for other than a commercial purpose. “Noncommercial purpose” shall mean and include, but shall not be limited to, philanthropic, political, patriotic and charitable purposes.

“Person” shall mean a person, firm, association, copartnership, joint venture, corporation, or any entity, public or private, in nature.

“Sound-amplifying equipment” shall mean any machine or device for the amplification of the human voice, music or any other sound, but shall not include:

1. Warning devices on emergency vehicles.
2. Horns, burglar and fire alarms, or other warning devices expressly authorized by law.

“Sound or noise level,” in decibels (dB), is sound measured by use of the “A” weight scale, and with slow response by a sound level meter.

“Sound level meter” shall mean an instrument including a microphone, an amplifier, an output meter and “A” frequency weighing networks for the measurement of sound levels, which satisfies the pertinent requirements in American Specifications for Sound Level Meters S14-1971, or the most recent revision thereof.

“Sound truck” shall mean any motor vehicle, or any other vehicle, regardless of motive power, whether in motion or stationary, which carries, is equipped with, or which has mounted thereon or attached thereto any sound-amplifying equipment for commercial, political and charitable purposes. (Ord. 89-29, 1/23/90)

11.44.030 Sound Level Measurements.

Any sound level measurement made pursuant to the provisions of this chapter shall be measured with a sound level meter using the “A” weighting and response as indicated in Section [11.44.040](#) of this chapter. (Ord. 89-29, 1/23/90)

11.44.040 Noise Limits.

A. It shall be unlawful for any person within the City to produce or cause or allow to be produced noise which is received on property occupied by another person within the designated region, in excess of the following levels, except as expressly provided otherwise herein:

Region	Time	Sound Level dB
Residential zone	Day	65

Residential zone	Night	55
Commercial and manufacturing	Day	80
Commercial and manufacturing	Night	70

At the boundary line between a residential property and a commercial and manufacturing property, the noise level of the quieter zone shall be used.

B. Corrections to Noise Limits. The numerical limits given in subsection (A) of this section shall be adjusted by the following corrections, where the following noise conditions exist:

Noise Condition	Correction (in dB)
(1) Repetitive impulsive noise	-5
(2) Steady whine, screech or hum	-5
The following corrections apply to day only:	
(3) Noise occurring more than 5 but less than 15 minutes per hour	+5
(4) Noise occurring more than 1 but less than 5 minutes per hour	+10
(5) Noise occurring less than 1 minute per hour	+20

(Ord. 89-29, 1/23/90)

11.44.050 Loud, Unnecessary and Unusual Noises Prohibited—Standards for Determining.

Notwithstanding any other provision of this chapter, and in addition thereto, it shall be unlawful for any person to willfully make or continue, or cause to be made and continued, any loud, unnecessary and unusual noise which disturbs the peace or quiet of any neighborhood, or which causes discomfort or annoyance to residents of the area.

The standards which may be considered in determining whether a violation of the provisions of this section exists may include, but not be limited to, the following:

- A. The level of the noise.
- B. Whether the nature or origin of the noise is usual or unusual.
- C. The nature or zoning of the area within which the noise emanates.
- D. The density of the inhabitation of the area within which the noise emanates.
- E. The time of day or night.
- F. The duration of the noise.
- G. Whether the noise is recurrent, intermittent or constant.
- H. Whether the noise is produced by a commercial or noncommercial activity.
- I. The volume and intensity of the background noise, if any.

J. The proximity of the noise to sleeping facilities. (Ord. 89-29, 1/23/90; Ord. 09-11 § 2, 7/14/09)

11.44.060 Special Noise Sources—Radios, Television Sets and Similar Devices.

A. Use Restricted. It shall be unlawful for any person within the City to use or operate any radio receiving set, musical instrument, phonograph, television set, or other machine or device for the producing or reproducing of sound at anytime in such a manner as to produce noise levels on residential land which would disturb the peace, quiet and comfort of neighboring residents or any reasonable person of normal sensitivity residing in the area.

B. Prima Facie Violation. Any noise exceeding the ambient noise limits as set forth in Section [11.44.040](#) at the property line of any residential land (or if a condominium or apartment house, within any adjoining apartment) by more than five (5) decibels shall be deemed to be prima facie evidence of a violation of the provisions of this section. (Ord. 89-29, 1/23/90)

11.44.070 Special Noise Sources—Machinery, Fans and Other Mechanical Devices.

Any noise level from the use or operation of any machinery, equipment, pump, fan, air conditioning apparatus, refrigerating equipment, motor vehicle, or other mechanical or electrical device, or in repairing or rebuilding any motor vehicle, which exceeds the noise limits as set forth in Section [11.44.040](#) at any property line, or, if a condominium or rental units, within any condominium unit or rental unit within the complex, shall be a violation of this chapter. (Ord. 89-29, 1/23/90)

11.44.080 Special Noise Sources—Construction and Building.

No person shall engage in any construction work which requires a building permit from the City on sites within three hundred (300) feet of a residentially zoned property except between the hours of seven a.m. to seven p.m., Monday through Friday, and eight a.m. to six p.m. on Saturday. Further, no work shall be performed on the following public holidays: New Year's Day, Independence Day, Thanksgiving, Christmas, Memorial Day and Labor Day.

Emergency work as defined in Section [11.44.020](#)(D) is permitted at all times.

The Department of Community Development may issue a permit for work to be done "after hours"; provided, that containment of construction noises is provided. (Ord. 89-29, 1/23/90; Ord. 93-4, 3/9/93; Ord. 00-3, 2/8/00; Ord. 05-1 § 2, 1/25/05; Ord. 06-7 § 1, 10/10/06)

11.44.090 Special Noise Sources—Amplified Sound.

The noise limits as described in Section [11.44.040](#)(A) of this chapter shall apply to any use of sound-amplifying equipment. (Ord. 89-29, 1/23/90)

11.44.092 Acts Constituting Disturbing, Excessive, Loud, Offensive Noise.

The following activities, among others, are declared to cause disturbing, excessive, loud, or offensive noises in violation of this chapter and causing or permitting such activities is unlawful; provided, however, that inclusion in this section shall not be construed as limiting the type of activities which may be found to cause disturbing, excessive, loud, or offensive noises:

A. Loud Parties. Causing or permitting a gathering of two or more people on private property which is determined by law enforcement personnel at the scene to

be a loud party in violation of this section because it is disruptive to the public peace, health, safety, or welfare due to the magnitude of the crowd, noise, disturbances, unruly behavior of those attending the party or gathering, excessive traffic or traffic congestion, illegally parked vehicles blocking other traffic or fire access or destruction of property.

1. For the purposes of this chapter, “responsible person” means the person who owns the property where the party, gathering or event takes place; the person in charge of the premises; and/or the person who organized the event. If the responsible person is a minor, then the parents or guardians of that minor are also responsible persons whether or not they are present at the party. All responsible persons, as defined herein, are deemed to have caused or permitted the loud party and are responsible for and may be charged with a violation of this chapter; provided, however, a property owner who is not present at the party or gathering may not be charged with a violation of this chapter unless the absentee owner had knowledge that the party or gathering was occurring, was planned to occur or reasonably should have known the party or gathering would occur. This exception does not apply to a parent or guardian of a responsible person who is a minor.
2. Prima Facie Violations of This Subsection. The following shall constitute evidence of a prima facie violation of this subsection; provided, however, that inclusion herein shall not be construed as limiting the activities which may be found to violate this subsection: A party, event or gathering where:
 - a. Noise emanating from or attributable to that party, event or gathering is audible from a distance of fifty (50) feet from the source of that noise; or
 - b. Persons present at the party or gathering are acting in a wild, unruly, uncontrollable manner disruptive to neighbors; or
 - c. The number of persons present violates the fire code, presenting a fire hazard; or
 - d. Vehicles of those attending the party or gathering are illegally parked or parked in a manner to cause traffic congestion or to block traffic or fire access; or
 - e. Persons present at the party or gathering have caused or are causing destruction to property of others. (Ord. 09-11 § 3, 7/14/09)

11.44.094 Loud Parties Are a Public Nuisance.

Loud parties as defined in this chapter are hereby declared to be a public nuisance and may be abated as set forth herein or as otherwise provided by law.

- A. Authority of Law Enforcement Personnel. Law enforcement personnel are authorized to take all actions and to give all directions and orders that may be necessary to abate the nuisance, violation or condition, including the arrest of, or issuance of citations to, the responsible person or persons, and any others who are in violation of this chapter or any other state statute or local ordinance.
- B. Cease and Desist Order. No person shall fail or refuse to obey or fail to comply with orders of law enforcement personnel to discontinue the loud party, to disperse or vacate the location of the loud party, and to turn off radios, television sets, phonographs, loud speaking amplifiers, and similar devices. Refusal to comply with

such an order is a separate and additional offense from that of causing or permitting a loud party.

C. Loud Party Participation Prohibited. All persons attending a party or social gathering declared to be a public nuisance by law enforcement personnel shall immediately disperse upon the order of law enforcement personnel, and all persons not domiciled at the site of such party or social gathering shall immediately leave the premises. No person shall fail or refuse to obey and abide by such an order. (Ord. 09-11 § 3, 7/14/09)

11.44.096 Reimbursement for Law Enforcement Costs.

If after issuance of a written reimbursement notice as required by this section, law enforcement personnel are required to respond to the property to address another violation of this chapter within one (1) calendar year after issuance of said notice, then the responsible person or persons, as defined in this chapter, shall be jointly and severally liable for all actual costs and expenses incurred by the City during second or subsequent responses.

A. Written Reimbursement Notice. Law enforcement personnel responding to a loud party shall issue a written reimbursement notice to the responsible person that if within one (1) calendar year after the initial response law enforcement personnel are again required to respond to the property to address a violation of this chapter, then the responsible person shall be liable to reimburse the City for all costs and expenses incurred by law enforcement personnel during second or subsequent responses for violations of this chapter.

B. Reimbursement of Costs and Expenses. All responsible persons for a party or gathering, which requires a second or subsequent response, as described herein above are jointly and severally liable for the following costs and expenses incurred by the City:

1. The actual costs incurred by the City for the services of the law enforcement personnel for each response after the initial response;
2. Damage to public property incurred in the course of any second or subsequent response by law enforcement personnel; and
3. Injuries to any law enforcement personnel involved in a second or subsequent response.

C. Collection. The expense of a reimbursable response hereunder shall be charged against the person liable for the expense under this chapter. The charge constitutes a debt of that person to the City, and is collectible by the City in the same manner as in the case of an obligation under a contract, expressed or implied.

D. Other Penalties Not Precluded. Nothing contained in this section is intended to preclude the filing of any administrative or criminal charges or the imposition of criminal fines or administrative penalties, or the summary, civil or administrative abatement of any public nuisance under state or local law, including other sections of this chapter, against any person or persons who may be subject to the reimbursement provisions of this section. (Ord. 09-11 § 3, 7/14/09)

11.44.100 Exemptions from Chapter.

A. There are exempted from this chapter lawfully conducted parades.

B. There is exempted from this chapter emergency work as defined in Section

[11.44.020](#)(D) of this chapter. (Ord. 89-29, 1/23/90)

11.44.110 Violations—Infractions, Misdemeanors—Remedies.

Any person violating any of the provisions of this chapter shall be deemed guilty of a misdemeanor, unless:

- A. The violation is classified as an infraction in the City of Santa Clarita Municipal Code in which case the person shall be guilty of an infraction; or
- B. A designated public officer or employee issues a citation charging the offense as an infraction;
- C. As an additional remedy for violations of this chapter, the operation or maintenance of any device, instrument, vehicle, or machinery in violation of any provision of this chapter, which operation or maintenance causes discomfort or annoyance to reasonable persons of normal sensitiveness, or which endangers the comfort, repose, health, or peace of residents in the area, shall be deemed and is declared to be a public nuisance which may be abated through summary abatement, administrative abatement, or abatement by a restraining order or injunction issued by a court of competent jurisdiction.

Each day such violation is committed or permitted to continue shall constitute a separate offense and shall be punishable subject to Section [1.01.230](#). (Ord. 89-29, 1/23/90; Ord. 01-6, 2/27/01; Ord. 09-11 § 2, 7/14/09)

11.44.120 Violations—Additional Remedies, Injunctions.

As an additional remedy, the operation or maintenance of any device, instrument, vehicle or machinery in violation of any provision of this chapter shall be deemed and is declared to be a public nuisance, and may be subject to abatement summarily by a restraining order or injunction issued by a court of competent jurisdiction. (Ord. 89-29, 1/23/90)

11.44.130 Enforcement.

Enforcement of the provisions of this chapter shall be the responsibility of a duly authorized law enforcement agency. (Ord. 89-29, 1/23/90)

11.44.140 Severability.

If any provision, clause, sentence or paragraph of this chapter, or the application thereof to any person or circumstances, shall be held invalid, such invalidity shall not affect the other provisions or applications of provisions of this chapter which can be given effect without the invalid provisions or application and, to this end, the provisions of this chapter are declared to be severable. (Ord. 89-29, 1/23/90)

The Santa Clarita Municipal Code is current through Ordinance 13-8, passed June 11, 2013.

Disclaimer: The City Clerk's Office has the official version of the Santa Clarita Municipal Code. Users should contact the City Clerk's Office for ordinances passed subsequent to the ordinance cited above.

City Website: <http://santa-clarita.com/>
[\(http://santa-clarita.com/\)](http://santa-clarita.com/)
 City Telephone: (661) 284-1405
 Code Publishing Company
[\(http://www.codepublishing.com/\)](http://www.codepublishing.com/)

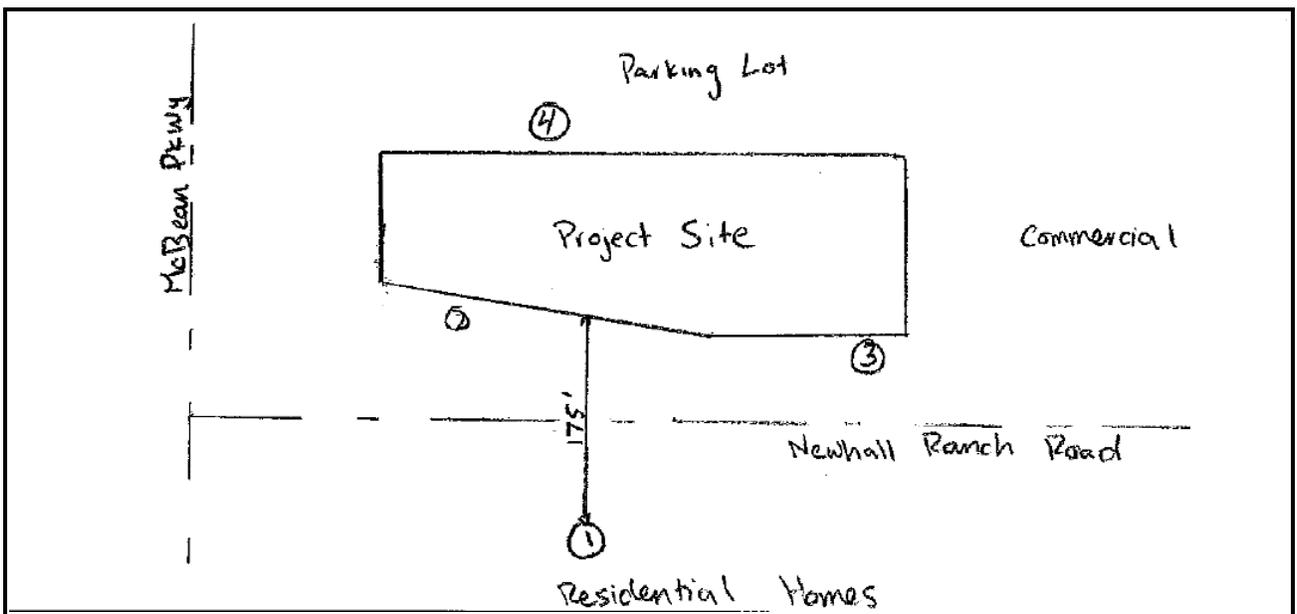
Appendix B

Photographs and Field Measurement Data

Field Sheet

Project: Verizon Bridgeport Acoustical Study		Engineer: Mario Gutierrez		Date: 1/8/2014												
				JN: 2131-2014-01												
Measurement Address:			City: Santa Clarita	Site No.: 1-4												
Sound Level Meter: LD-712 Serial # A0520		Calibration Record:		Notes: Temp: 57° Windspeed: 3 MPH Direction: SE Skies: Clear Camera: Photo Nos.												
		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>Input, dB/</th> <th>Reading, dB/</th> <th>Offset, dB/</th> <th>Time</th> </tr> <tr> <td>Before 114.0/</td> <td>114.0/</td> <td>26.9/</td> <td>11:20 AM</td> </tr> <tr> <td>After 114.0/</td> <td>114.0/</td> <td>26.3/</td> <td>12:25 AM</td> </tr> </table>			Input, dB/	Reading, dB/	Offset, dB/	Time	Before 114.0/	114.0/	26.9/	11:20 AM	After 114.0/	114.0/	26.3/	12:25 AM
Input, dB/	Reading, dB/	Offset, dB/	Time													
Before 114.0/	114.0/	26.9/	11:20 AM													
After 114.0/	114.0/	26.3/	12:25 AM													
Calibrator: LD-250 250 Serial # 1322		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Before</td> <td>/</td> <td>/</td> <td>/</td> </tr> <tr> <td>After</td> <td>/</td> <td>/</td> <td>/</td> </tr> </table>		Before	/	/	/	After	/	/	/					
Before	/	/	/													
After	/	/	/													
Meter Settings:																
<input checked="" type="checkbox"/> A-WTD <input type="checkbox"/> LINEAR <input checked="" type="checkbox"/> SLOW <input type="checkbox"/> 1/1 OCT <input checked="" type="checkbox"/> INTERVALS <u>10</u> - MINUTE <input type="checkbox"/> C-WTD <input type="checkbox"/> IMPULSE <input type="checkbox"/> FAST <input type="checkbox"/> 1/3 OCT <input checked="" type="checkbox"/> L _N PERCENTIL																

Notes:										Measurement Type: Long-term _____ Short-term <u> X </u>	
	Start Time	Stop Time	Leq	Lmin	Lmax	L2	L8	L25	L50		
Locations	1	11:25 AM	11:35 AM	66.5	53.5	76.6	74.5	70.9	66.5	64.0	Comments: Noise meter was placed 175' south of the project site location; south of the proposed project site. Ambient noise was captured due to local traffic.
	2	11:40 AM	11:50 AM	66.1	54.1	75.6	72.9	70.7	66.9	63.6	Comments: Noise meter was placed 20' south of the project site location; south of the proposed project site. Ambient noise was captured due to local traffic.
	3	11:55 AM	12:05 PM	67.4	50.1	84.5	75.0	71.5	68.1	62.0	Comments: Noise meter was placed 20' south of the project site location; south of the proposed project site. Ambient noise was captured due to local traffic.
	4	12:10 PM	12:20 PM	56.3	49.5	66.3	61.7	59.7	56.9	55.4	Comments: Noise meter was placed 50' north of the proposed project site location.
	5										



Field Sheet - ST1 (Existing Location) Photos

Project: Verizon Bridgeport Acoustical Study	Engineer: Mario Gutierrez	Date: 1/8/2014
Measurement Address:	City: Santa Clarita	JN: 2131-2014-01
Noise meter was placed 175' south of the proposed project site.		Site No.: 1



Field Sheet - ST2 (Existing Location) Photos

Project: Verizon Bridgeport Acoustical Study	Engineer: Mario Gutierrez	Date: 1/8/2014
Measurement Address:	City: Santa Clarita	JN: 2131-2014-01
Noise meter was placed 20' south of the proposed project site.		Site No.: 3



Field Sheet - ST3 (Existing Location) Photos

Project: Verizon Bridgeport Acoustical Study	Engineer: Mario Gutierrez	Date: 1/8/2014
Measurement Address:	City: Santa Clarita	JN: 2131-2014-01
Noise meter was placed 20' south of the proposed project site		Site No.: 4



Field Sheet - ST4 (Existing Location) Photos

Project: Verizon Bridgeport Acoustical Study	Engineer: Mario Gutierrez	Date: 1/8/2014
Measurement Address: Noise meter was placed 50' north of the proposed project site.	City: Santa Clarita	JN: 2131-2014-01
		Site No.: 5



Appendix C

Stationary Noise Calculations

[2131-14-01] - NOISE LEVEL ADDITION (dBA)
[Residential South] - [Ground Mounted Radio Equipment] (DAYTIME)

Leq

Source	Noise Level (dBA)	10 ^{dBA/10}
Equipment	10.6	11.5
Ambient Noise Measurement	66.5	4,466,835.9
Combined Noise Level (dBA) =	66.5	4,466,847.4

Lmax

Source	Noise Level (dBA)	10 ^{dBA/10}
Equipment	10.6	11.5
Ambient Noise Measurement	76.6	45,708,819.0
Combined Noise Level (dBA) =	76.6	45,708,830.4

L2

Source	Noise Level (dBA)	10 ^{dBA/10}
Equipment	10.6	11.5
Ambient Noise Measurement	74.5	28,183,829.3
Combined Noise Level (dBA) =	74.5	28,183,840.8

L8

Source	Noise Level (dBA)	10 ^{dBA/10}
Equipment	10.6	11.5
Ambient Noise Measurement	70.9	12,302,687.7
Combined Noise Level (dBA) =	70.9	12,302,699.2

L25

Source	Noise Level (dBA)	10 ^{dBA/10}
Equipment	10.6	11.5
Ambient Noise Measurement	66.5	4,466,835.9
Combined Noise Level (dBA) =	66.5	4,466,847.4

L50

Source	Noise Level (dBA)	10 ^{dBA/10}
Equipment	10.6	11.5
Ambient Noise Measurement	64.0	2,511,886.4
Combined Noise Level (dBA) =	64.0	2,511,897.9

[2131-14-01] - NOISE LEVEL ADDITION (dBA)
[Residential South] - [Ground Mounted Radio Equipment] (NIGHTTIME)

Leq

Source	Noise Level (dBA)	10 ^{dBA} /10
Equipment	10.6	11.5
Ambient Noise Measurement	56.7	467,735.1
Combined Noise Level (dBA) =	56.7	467,746.6

Lmax

Source	Noise Level (dBA)	10 ^{dBA} /10
Equipment	10.6	11.5
Ambient Noise Measurement	72.3	16,982,436.5
Combined Noise Level (dBA) =	72.3	16,982,448.0

L2

Source	Noise Level (dBA)	10 ^{dBA} /10
Equipment	10.6	11.5
Ambient Noise Measurement	65.4	3,467,368.5
Combined Noise Level (dBA) =	65.4	3,467,380.0

L8

Source	Noise Level (dBA)	10 ^{dBA} /10
Equipment	10.6	11.5
Ambient Noise Measurement	57.0	501,187.2
Combined Noise Level (dBA) =	57.0	501,198.7

L25

Source	Noise Level (dBA)	10 ^{dBA} /10
Equipment	10.6	11.5
Ambient Noise Measurement	54.8	301,995.2
Combined Noise Level (dBA) =	54.8	302,006.7

L50

Source	Noise Level (dBA)	10 ^{dBA} /10
Equipment	10.6	11.5
Ambient Noise Measurement	54.4	275,422.9
Combined Noise Level (dBA) =	54.4	275,434.4

[2131-14-01] - NOISE LEVEL ADDITION (dBA)
[Residential South] - [Equipment and Generator] (DAYTIME)

Leq

Source	Noise Level (dBA)	10 ^{AdBA/10}
Equipment	10.6	11.5
Emergency Generator	34.6	2,884.0
Ambient Noise Measurement	66.5	4,466,835.9
Combined Noise Level (dBA) =	66.5	4,469,731.4

Lmax

Source	Noise Level (dBA)	10 ^{AdBA/10}
Equipment	10.6	11.5
Emergency Generator	34.6	2,884.0
Ambient Noise Measurement	76.6	45,708,819.0
Combined Noise Level (dBA) =	76.6	45,711,714.5

L2

Source	Noise Level (dBA)	10 ^{AdBA/10}
Equipment	10.6	11.5
Emergency Generator	34.6	2,884.0
Ambient Noise Measurement	74.5	28,183,829.3
Combined Noise Level (dBA) =	74.5	28,186,724.8

L8

Source	Noise Level (dBA)	10 ^{AdBA/10}
Equipment	10.6	11.5
Emergency Generator	34.6	2,884.0
Ambient Noise Measurement	70.9	12,302,687.7
Combined Noise Level (dBA) =	70.9	12,305,583.2

L25

Source	Noise Level (dBA)	10 ^{AdBA/10}
Equipment	10.6	11.5
Emergency Generator	34.6	2,884.0
Ambient Noise Measurement	66.5	4,466,835.9
Combined Noise Level (dBA) =	66.5	4,469,731.4

L50

Source	Noise Level (dBA)	10 ^{AdBA/10}
Equipment	10.6	11.5
Emergency Generator	34.6	2,884.0
Ambient Noise Measurement	64.0	2,511,886.4
Combined Noise Level (dBA) =	64.0	2,514,781.9

[2131-14-01] - NOISE LEVEL ADDITION (dBA)
[Residential South] - [Equipment and Generator] (DAYTIME)

Leq

Source	Noise Level (dBA)	10 [^] dBA/10
Equipment	10.6	11.5
Emergency Generator	34.6	2,884.0
Ambient Noise Measurement	61.5	1,412,537.5
Combined Noise Level (dBA) =	61.5	1,415,433.1

Lmax

Source	Noise Level (dBA)	10 [^] dBA/10
Equipment	10.6	11.5
Emergency Generator	34.6	2,884.0
Ambient Noise Measurement	71.6	14,454,397.7
Combined Noise Level (dBA) =	71.6	14,457,293.2

L2

Source	Noise Level (dBA)	10 [^] dBA/10
Equipment	10.6	11.5
Emergency Generator	34.6	2,884.0
Ambient Noise Measurement	69.5	8,912,509.4
Combined Noise Level (dBA) =	69.5	8,915,404.9

L8

Source	Noise Level (dBA)	10 [^] dBA/10
Equipment	10.6	11.5
Emergency Generator	34.6	2,884.0
Ambient Noise Measurement	65.9	3,890,451.4
Combined Noise Level (dBA) =	65.9	3,893,347.0

L25

Source	Noise Level (dBA)	10 [^] dBA/10
Equipment	10.6	11.5
Emergency Generator	34.6	2,884.0
Ambient Noise Measurement	61.5	1,412,537.5
Combined Noise Level (dBA) =	61.5	1,415,433.1

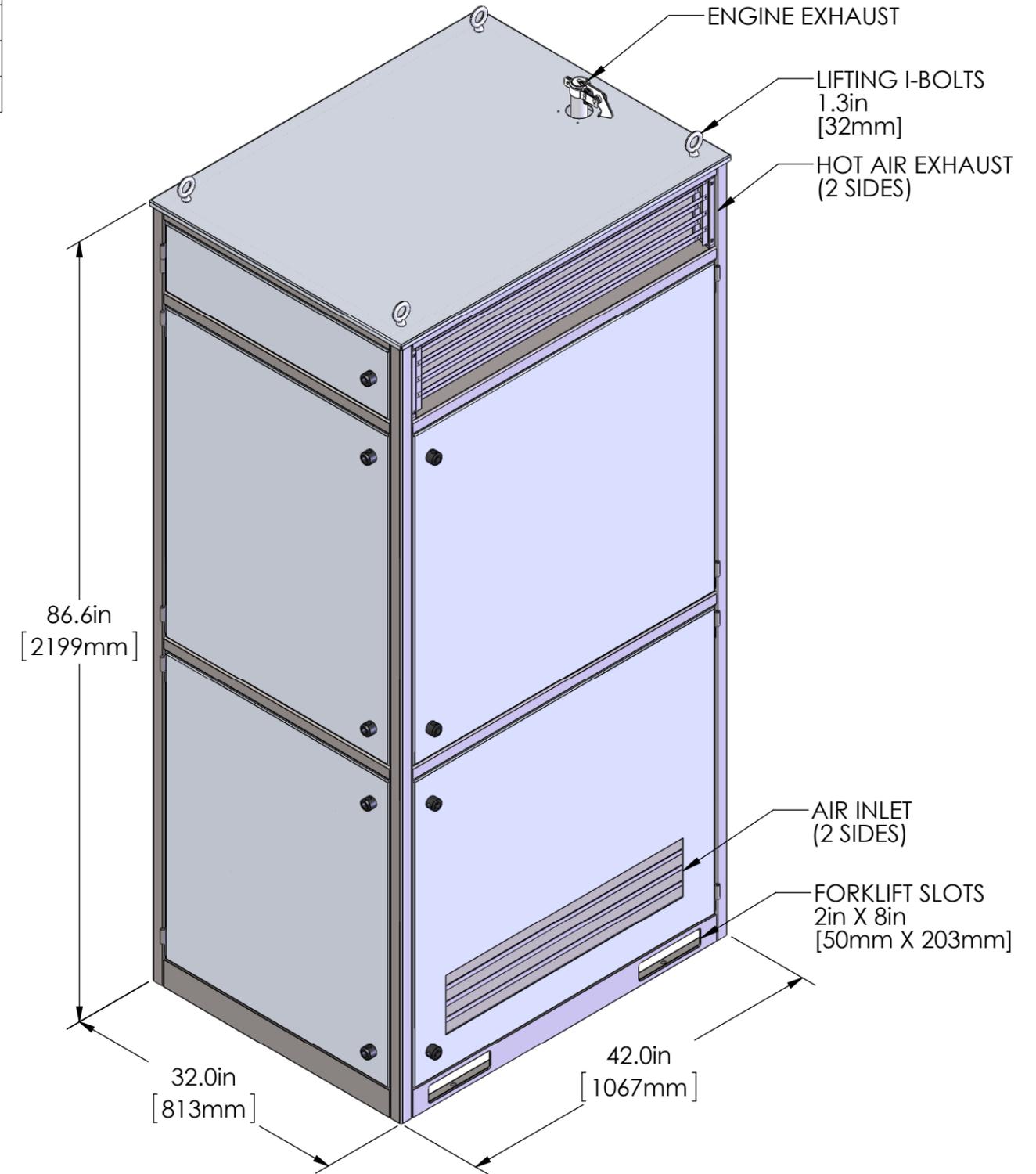
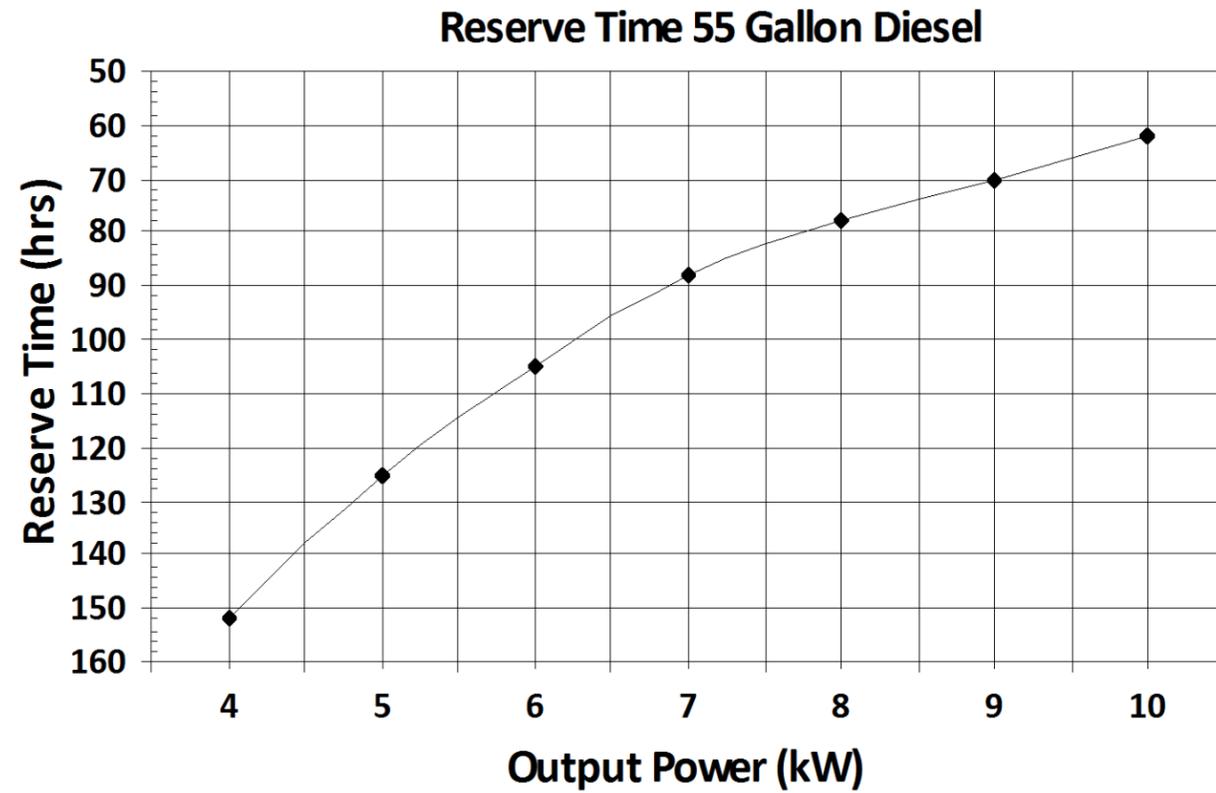
L50

Source	Noise Level (dBA)	10 [^] dBA/10
Equipment	10.6	11.5
Emergency Generator	34.6	2,884.0
Ambient Noise Measurement	59.0	794,328.2
Combined Noise Level (dBA) =	59.0	797,223.7

Appendix D

Emergency Generator Specifications

DIESEL GEN PART #	POWER (kW)	MAX ENGINE HP	MAX RPM	NOISE (7M dBA)
8220I - 3CA1 - 02262	8 - 10	18.5	2600	63
8220I - 3CA1 - 03182	5 - 6	11.5	1800	62
8080P - 40205 - 02281	4 - 5	11.0	2800	64
ENCLOSURE MODEL #	GEN MODEL			
88-25-0610-55	ISUZU - 3CA1			
88-25-0620-55	PERKINS - 40205			



REV	DESCRIPTION	ECO#	BY	DATE
B	NOTE ADDED TO COMMENTS PROHIBITING INDOOR INSTALLATION	--	RR	06/15/12
	INITIAL RELEASE	--		

COMMENTS:
**DO NOT INSTALL INDOORS
 USE OPEN FRAME ASSY FOR INDOORS**

PROPRIETARY AND CONFIDENTIAL
 THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF POLAR POWER INC. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF POLAR POWER INC. IS PROHIBITED.

UNLESS OTHERWISE SPECIFIED: DIMENSIONS ARE IN INCHES TOLERANCES ARE:		CAD GENERATED DRAWING DO NOT MANUALLY UPDATE	
FRACTIONS ±1/32" DECIMALS X.X±0.1" ANGLES ±1/2°		APPROVALS DRAWN RICHARD RODRIGUEZ CHECKED	DATE 04/04/12
MATERIAL	FINISH	ENG APPR.	MFG APPR.
NEXT ASSY	USED ON	Q.A.	
APPLICATION		DO NOT SCALE DRAWING	

POLAR POWER INC.
 22520 AVALON BLVD, CARSON, CA 90745

TITLE: Diesel, 4 - 10 kW, 48 Vdc Generator with Enclosure

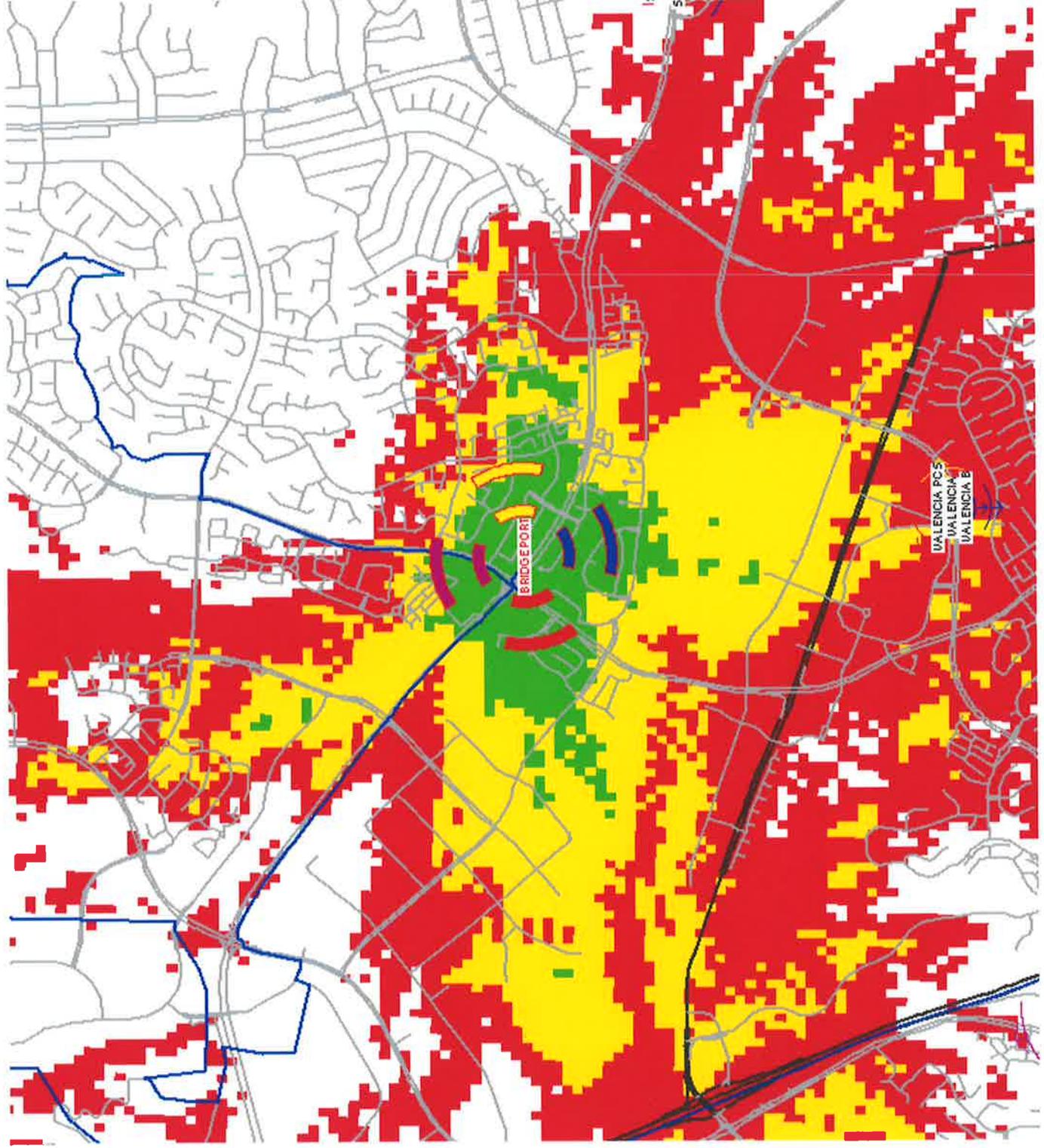
SIZE	DWG. NO.	REV
B	88-25-0600	B

SCALE: 1:10 WEIGHT: SHEET 1 OF 1

BRIDGEPORT

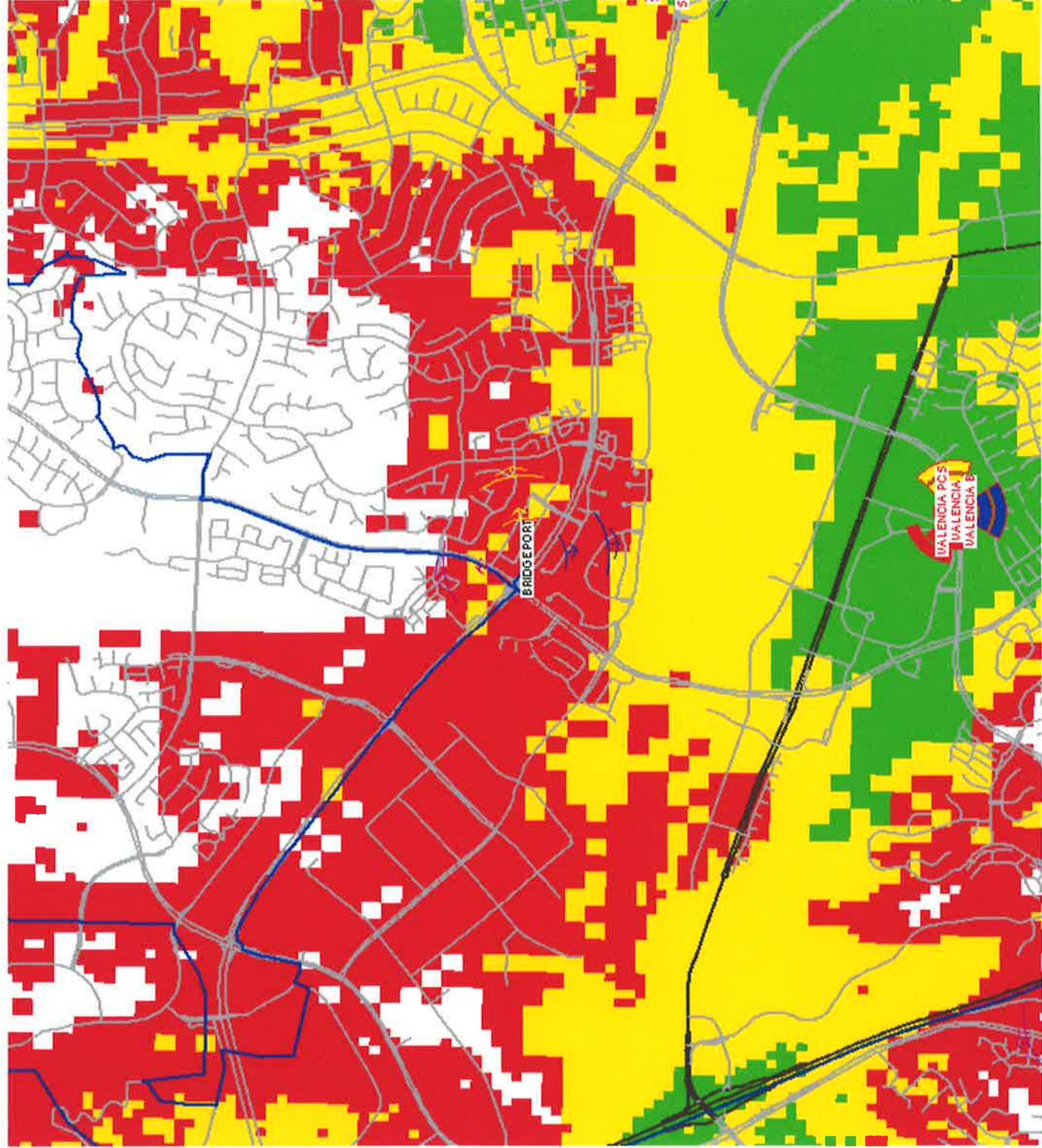
RF Plots

Propagation_BRIDGEPORT



Cell Name	VM_LosPardes
Cell Contour	850 MHz B Block
Cell Sector	1
County	Los Angeles
City Boundary	
Light Duty Road	
Alley	
Arterial Road	
Collector Road	
Major Highway	
Secondary Highway	
RSRP	
RSRP (dBm)	
>= -75	
>= -85	
>= -95	
Water	
Scale: 1:15024	1/10 Miles
evo Plan v6.5.2 Proprietary and Confidential	

Propagation_BRIDGEPORT Off Air



Cell Name	VM_LosPardes
Sector	1
Country	USA
City Boundary	Bridgeport
Light Duty Road	
Alley	
Arterial Road	
Collector Road	
Major Highway	
Secondary Highway	
RSRP	
ASRP (dBm)	
Water	

Scale: 1:15024

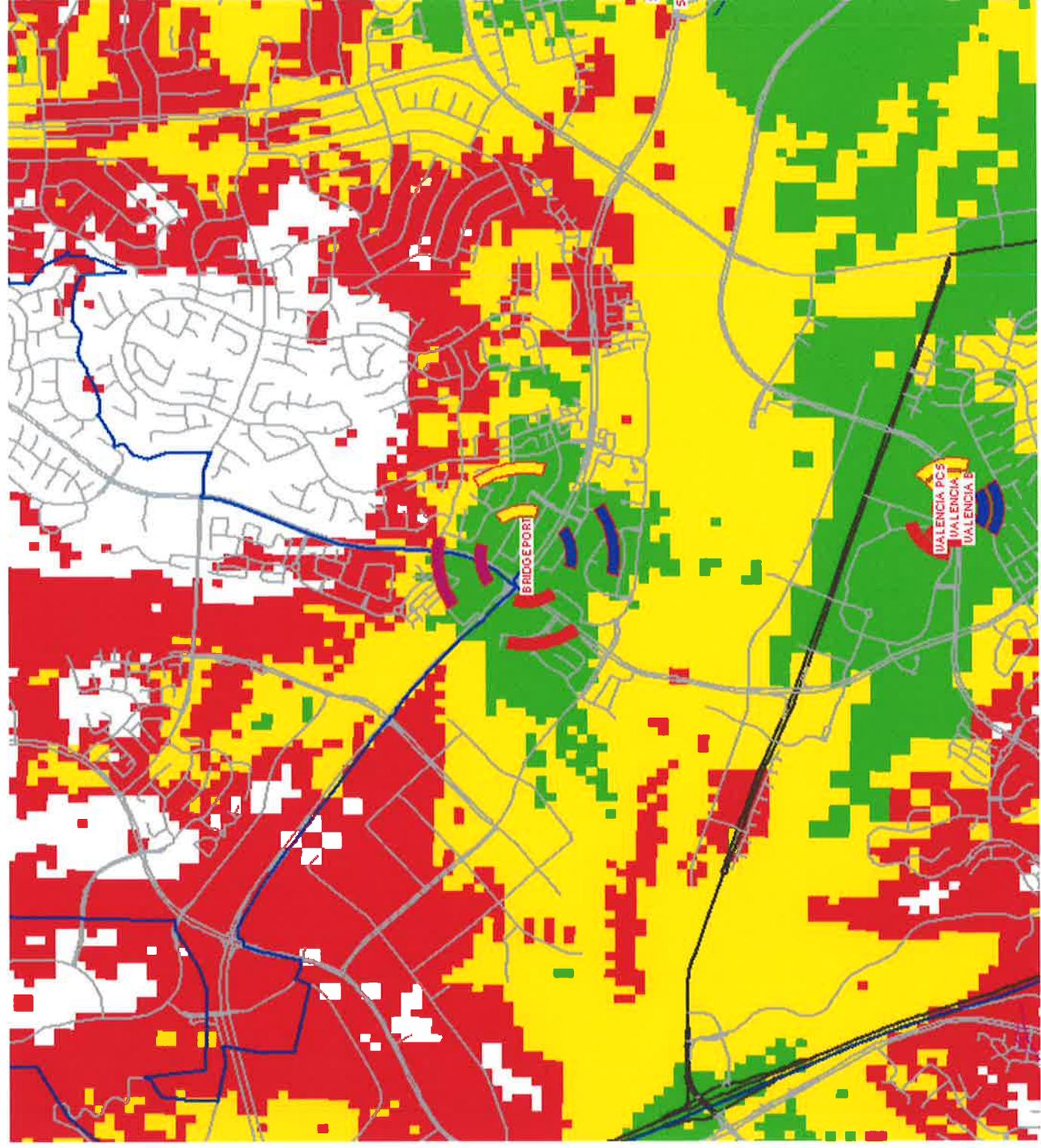
1/10 Miles

verizonwireless

eo Plan v6.5.2

proprietary and Confidential

Propagation_BRIDGEPORT ON AIR



Cell Name	VM LosPardés	
DC Contour 850 MHz B Block		
Sector		
county		
city boundary		
light_duty_road		
alley		
arterial_road		
collector_road		
major_highway		
secondary_highway		
IE RSRP		
CL		
RSRP (dBm)		
>= -75		
>= -85		
>= -95		
water		
Scale: 1:15024		
0	2	4
1:10 Miles		
eo Plan v6.5.2 Proprietary and Confidential		

CITY OF SANTA CLARITA
STAFF REPORT
MASTER CASE 14-070
CONDITIONAL USE PERMIT 14-007

DATE: July 1, 2014

TO: Chairperson Heffernan Members of the Planning Commission

FROM: Jeff W. Hogan, AICP, Planning Manager

CASE PLANNER: Patrick Leclair, Associate Planner

APPLICANT: Karen Barahona

LOCATION: 23120 Lyons Avenue, Suite #10 (APN#: 2830-015-058)

REQUEST: The applicant is requesting the approval of a Conditional Use Permit to allow for the operation of a second hand store within a 900 square-foot tenant space in an existing retail center within the Lyons Corridor Plan.

BACKGROUND

In July 2013, the City of Santa Clarita adopted a new Unified Development Code (UDC) to be consistent with the City's General Plan. The UDC included the coding language to facilitate the creation of "Corridor Plans" throughout the City, as specific community needs arise. The first Corridor Plan to be adopted was the Lyons Corridor Plan on July 9, 2013.

On May 19, 2014, the applicant submitted a request for a Conditional Use Permit (CUP) to allow for a second hand store at 23120 Lyons Avenue, Suite #10. The UDC requires a Minor Use Permit (MUP) for the operation of a second hand store on the project site, however, the Lyons Corridor Plan requires the approval of a CUP. The applicant has requested hours of operation from 8:00 a.m. to 8:00 p.m. daily. The proposed store will not be used as a donation center.

GENERAL PLAN AND ZONING DESIGNATIONS

The General Plan land use designation for the project site is Community Commercial (CC). The CC designation, *"is intended for business providing retail and service uses that primarily serve the local market. Representative uses include restaurants, clothing stores, hardware and auto parts stores, grocery markets, pharmacies, banks and financial services, specialty retail, theaters and nightclubs, day care centers, and medical services. These areas are typically located along arterial streets or at the intersections of high traffic corridors."*

Further, the project site is located within the Corridor Plan (CP) zone as a part of the Lyons

Corridor Plan. Within the Lyons Corridor Plan, the project site is located in the Lyons Urban 2 (LU-2) zone. Typical uses in the LU-2 zone are mid-sized retail, neighborhood services, and senior community care.

Surrounding Uses

The project site is located in an existing urbanized area in the City of Santa Clarita and includes the following surrounding land use designations as well as land uses:

Surrounding General Plan/Zoning Designations

North	Community Commercial (CC) / Corridor Plan (CP)
East	Community Commercial (CC) / Corridor Plan (CP)
South	Urban Residential 2 (UR2) / Urban Residential 2 (UR2)
West	Community Commercial (CC) / Corridor Plan (CP)

Surrounding Land Uses

North	Retail Center/Church
East	Retail Center
South	Single-Family Residential
West	Commercial Office

ANALYSIS

Zoning Consistency

The project site is located in the LU-2 zone of the Lyons Corridor Plan. The LU-2 zone allows for “Second Hand Stores” with the approval of a CUP. The CUP is a discretionary approval that requires the approval of the Planning Commission. The Planning Commission has the ability to consider applications for a CUP and apply conditions of approval to mitigate any potential impacts that are identified during the public hearing.

The proposed second hand store will be located within a 900 square-foot tenant suite within an existing 29,272 square-foot retail center. The proposed use does not warrant the redevelopment of the project site due to the size and scope of the proposed project. The proposed second hand store will consist of the retail sale of previously owned items that will be purchased off-site by the business owner, and will not include the donation or trading of goods on the project site. Donation of goods on the project site for sale would change the land use category to a “Thrift Store” under the LU-2 zone and would require additional review to ensure the proper parking, flow of customers to the donation area, as well as a properly designed and screened donation area. Since these elements were not considered for this project, staff has included a condition of approval (condition PL3) that will prohibit the donation of goods on the project site. Further, the proposed second hand store will not be a “Pawn Shop” and has been conditioned to prohibit pawning of merchandise on the project site (condition PL4). With the approval of the CUP by the Planning Commission, the project will be consistent with the zoning for the project site in the LU-2 zone of the Lyons Corridor Plan area.

Hours of Operation

The applicant has requested daily hours of operation from 8:00 a.m. to 8:00 p.m. These hours are typical hours of operation for a retail use in a retail zone in the City. Staff has included a condition of approval that will limit all hours of operation to be within the requested daily hours. (condition PL2).

Parking

As a retail use, there is no intensification of parking on the project site. Further, the applicant has provided a parking analysis with this project that demonstrates a surplus of UDC-required parking by 9 stalls (111 stalls on site with 102 stalls required).

ENVIRONMENTAL

The proposed project is exempt under Section 15301 Existing Facilities of the California Environmental Quality Act (CEQA) as a Class 1 exemption consisting of the permitting of private facilities involving negligible or no expansion of use.

PUBLIC NOTICE

All notices required by law were completed including a legal advertisement in The Signal newspaper, legal notice being sent to all tenants within the shopping center as well as to all property owners within 1,000 feet of the project site. In addition, a sign was posted on the project site per City sign posting requirements. As of the date of this staff report, staff has received one letter opposing the proposed second hand store citing concerns with land use compatibility.

Upon review of the application, it was identified that Commissioner Burkhart owns property within 500 feet of the project site and is therefore must recuse himself from voting on this item. Staff informed Commissioner Burkhart of this information prior to the public hearing on this item.

RECOMMENDATION

Staff recommends the Planning Commission adopt Resolution P14-12 approving the Conditional Use Permit for a second hand store at 23120 Lyons Avenue, #10, subject to the attached conditions of approval (Exhibit "A").

ATTACHMENTS

Resolution P14-12
Conditions of Approval
Vicinity Map
Site Plan
Floor Plan
Correspondence

RESOLUTION NO. P14-12

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF SANTA CLARITA APPROVING MASTER CASE NO. 14-070, CONDITIONAL USE PERMIT (CUP) 14-007 TO ALLOW FOR A SECOND HAND STORE AT 23120 LYONS AVENUE, SUITE #10, IN THE CITY OF SANTA CLARITA

THE PLANNING COMMISSION OF THE CITY OF SANTA CLARITA DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. FINDINGS OF FACT. The Planning Commission does hereby make the following findings of fact:

- A. An application for Master Case No. 14-070 (CUP 14-007) was filed by Karen Barahona (hereinafter “Applicant”) with the City of Santa Clarita on May 19, 2014. The property for which this application was filed is located at 23120 Lyons Avenue, Suite #10 (hereinafter “Project Site”);
- B. The project consists of a Conditional Use Permit to allow for the operation of a second hand store within the existing retail center located on the southeast corner of Lyons Avenue and Wayman Street (23120 Lyons Avenue, Suite #10). The second hand store will sell used goods that are purchased off-site and will not include on-site donation of items for sale;
- C. The application was deemed complete on May 22, 2014;
- D. The General Plan designation for the project site is Community Commercial (CC) with a zoning designation of Corridor Plan (CP), in the “Lyons-Urban 2” designation under the Lyons Corridor Plan;
- E. The property is bounded to the north (across Lyons Avenue) by a retail center and a religious facility, to the east by an existing retail center, to the south by single-family residences, and to the west (across Wayman Street) by an existing medical office building;
- F. On July 1, 2014, a duly noticed public hearing was held before the City of Santa Clarita Planning Commission at 6:00 p.m. at City Hall, Council Chambers, 23920 Valencia Boulevard, Santa Clarita;
- G. At this public hearing, the Planning Commission considered the staff report, staff presentation, applicant’s presentation, and public testimony.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDINGS. Based upon the foregoing facts and findings, the Planning Commission hereby finds as follows:

- A. A Notice of Exemption for this project was prepared in compliance with the California

Environmental Quality Act (CEQA);

- B. This project is exempt per Article 19: Categorical Exemptions, Section 15301: Existing Facilities, of California Environmental Quality Act (CEQA) as a Class 1 Exemption which consists of the operation, repair, maintenance, permitting, leasing licensing, or minor alteration of existing public or private structures. The proposed second hand store qualifies as a Class 1 exemption because the Conditional Use Permit falls under the City's jurisdiction for permitting and all construction associated with the project will be minor consisting of minor tenant improvements to an existing commercial space within an existing retail center;
- C. The location of the documents and other material which constitutes the record of proceedings upon which the decision of the Planning Commission is based, the Master Case 14-070 project file within the Community Development Department and is in the custody of the Director of Community Development; and
- D. The Planning Commission, based upon the findings set forth above, hereby finds the Notice of Exemption for this project has been prepared in compliance with CEQA.

SECTION 3. GENERAL FINDINGS FOR MASTER CASE NO. 14-070. Based on the foregoing facts and findings for Master Case No. 14-070, the Planning Commission hereby finds as follows:

- A. That the proposal is consistent with the General Plan;
- B. The proposal is allowed within the applicable underlying zone and complies with all other applicable provisions of the UDC;
- C. The proposal will not endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare, or be materially detrimental or injurious to the improvements, persons, property, or uses in the vicinity and zone in which the property is located; and
- D. The proposal is physically suitable for the site. The factors related to the proposal's physical suitability for the site shall include, but are not limited to, the following:
 - 1) The design, location, shape, size, and operating characteristics are suitable for the proposed use;
 - 2) The highways or streets that provide access to the site are of sufficient width and are improved as necessary to carry the kind and quantity of traffic such proposal would generate;
 - 3) Public protection services (e.g., Fire protection, Sheriff protection, etc.) are readily available; and

- 4) The provision of utilities (e.g., potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.) is adequate to serve the site.

The proposed second hand store is located in an existing commercial center in the Lyons Corridor Plan. A second hand store is permitted in the Lyons Corridor Plan with the approval of a Conditional Use Permit. The project site consists of an existing 29,272 square-foot commercial center with a mixture of existing commercial uses. The proposed second hand store will use 900 square feet of the existing retail center that is currently served by existing emergency services (Fire and Sheriff protection services), as well as existing utilities (power, water, solid waste collection, etc.). The proposed second hand store, as conditioned, will operate within hours of operation that are consistent with commercial uses in the City, 8:00 a.m. to 8:00 p.m. daily. Further, the proposed second hand store has been prohibited from receiving donations on the project site for sale within the second hand store, and will therefore not be permitted to operate under the land use category of a "Thrift Shop". The project site is adequately served by existing traffic facilities with drive access on Lyons Avenue and Wayman Street that will allow for adequate customer and emergency access to the project site. With the approval of the Conditional Use Permit, as conditioned, the second hand store will be consistent with the City's General Plan and Unified Development Code.

SECTION 4. NOW, THEREFORE, BE IT RESOLVED, by the Planning Commission of the City of Santa Clarita, California, as follows:

Adopt Resolution P14-12, approving Master Case 14-070, Conditional Use Permit (CUP) 14-007, to allow for a second hand store at 23120 Lyons Avenue, Suite #10, subject to the attached Conditions of Approval (Exhibit A).

PASSED, APPROVED, AND ADOPTED this 1st day of July, 2014.

CHARLES HEFFERNAN, CHAIRPERSON
PLANNING COMMISSION

ATTEST:

JEFF W. HOGAN, SECRETARY
PLANNING COMMISSION

STATE OF CALIFORNIA)
COUNTY OF LOS ANGELES)
CITY OF SANTA CLARITA)

I, Jeff W. Hogan, Planning Commission Secretary of the City of Santa Clarita, do hereby certify that the foregoing Resolution was duly adopted by the Planning Commission of the City of Santa Clarita at a regular meeting thereof, held on the 1st day of July, 2014 by the following vote of the Planning Commission:

AYES: COMMISSIONERS:

NOES: COMMISSIONERS:

ABSENT: COMMISSIONERS:

PLANNING COMMISSION SECRETARY

EXHIBIT A
CONDITIONS OF APPROVAL
MASTER CASE NO. 14-070
CONDITIONAL USE PERMIT NO. 14-007

DRAFT CONDITIONS OF APPROVAL

GENERAL CONDITIONS

- GC1. The approval of this project shall expire if the approved use is not commenced within two (2) years from the date of conditional approval, unless it is extended in accordance with the terms and provisions of the City of Santa Clarita's Unified Development Code (UDC).
- GC2. The applicant may file for an extension of the conditionally approved project prior to the date of expiration. If such an extension is requested, it must be filed no later than 60 days prior to expiration.
- GC3. To the extent the use approved with this project is a different use than previously approved for the property; the prior approval shall be terminated along with any associated vested rights to such use, unless such prior approved use is still in operation, or is still within the initial pre-commencement approval period. Once commenced, any discontinuation of the use approved with this project for a continuous period of one hundred eighty (180) calendar days or more shall terminate the approval of this use along with any associated vested rights to such use. The pre-existing legal use shall not be re-established or resumed after the one hundred eight (180) day period. Discontinuation shall include cessation of a use regardless of intent to resume.
- GC4. The applicant shall be responsible for notifying the Director of Community Development, in writing, of any change in ownership, designation of a new engineer, or change in the status of the developer, within 30 days of said change.
- GC5. Unless otherwise apparent from the context, the term "applicant" shall include the applicant and any other persons, corporation, or other entity making use of this grant. The applicant shall defend, indemnify, and hold harmless the City of Santa Clarita, its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, or employees to attack, set aside, void, or annul this approval by the City. In the event the City becomes aware of any such claim, action, or proceeding, the City shall promptly notify the applicant, or if the City fails to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Nothing contained in this condition prohibits the City from participating in the defense of any claim, action, or proceeding, if both the following occur: 1) The City bears its own attorney's fees and costs; and, 2) the City defends the action in good faith. The applicant shall not be required to pay or perform any settlement unless the settlement is approved by the applicant.

- GC6. The property shall be developed and maintained in substantial conformance with the approvals granted by the City. Any modifications shall be subject to further review by the City.
- GC7. The applicant and property owner shall comply with all inspection requirements as deemed necessary by the City of Santa Clarita.
- GC8. The owner, at the time of issuance of permits or other grants of approval agrees to develop the property in accordance with City codes and other appropriate ordinances such as the Building Code, Plumbing Code, Grading Code, Highway Permit Ordinance, Mechanical Code, Unified Development Code, Sanitary Sewer and Industrial Waste Ordinance, Electrical Ordinance and Fire Code.
- GC9. The applicant must sign and notarize the attached affidavit to confirm acceptance of the conditions of this grant. The notarized affidavit must then be returned to the Planning Division before occupancy.
- GC10. It is hereby declared and made a condition of this permit that if any condition hereof is violated, or if any law, statute, or ordinance is violated, the City may commence proceedings to revoke this approval.

PLANNING DIVISION

- PL1. The applicant shall have permission to operate a 900 square-foot second hand store on the project site located at 23120 Lyons Avenue, #10.
- PL2. Hours of operation for the second hand store shall be limited to 8:00 a.m. to 8:00 p.m. daily.
- PL3. The second hand store shall not have a donation station where goods can be donated for sale within the store. The addition of donation of goods will change the land use type to a “thrift shop” under the City’s Unified Development Code and will be subject to additional review and permitting.
- PL4. No pawning of goods/merchandise shall be permitted on the project site.
- PL5. Prior to obtaining Building and Safety approval for any tenant improvements (if requested), the applicant shall obtain stamped approval from the Los Angeles County Fire Department for all items within their jurisdiction.
- PL6. Prior to issuance of building permits for any tenant improvements (if requested), the applicant shall comply with all applicable regulations and fees of affected agencies.
- PL7. All requirements of the Unified Development Code and specific zoning for the subject

property shall be complied with unless set forth in this permit.

- PL8. No outdoor display of goods is permitted with this application. All outdoor display(s) must comply with the Unified Development Code and must be situated on the project site in a manner that shall not impede pedestrian access and shall further comply with all accessibility requirements. Prior to any request for outdoor display, a site plan must be prepared for review and approval of the Planning Commission.

BUILDING AND SAFETY DIVISION

- BS1. Prior to the issuance of building permits for any tenant improvements (if requested) the applicant shall submit two complete sets of plans and calculations (if any) for plan review and building permits.



This map is a user-generated static output from City of Santa Clarita GIS Online mapping website and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. The City of Santa Clarita does not warrant the accuracy of the data and assumes no liability for any errors or omissions.

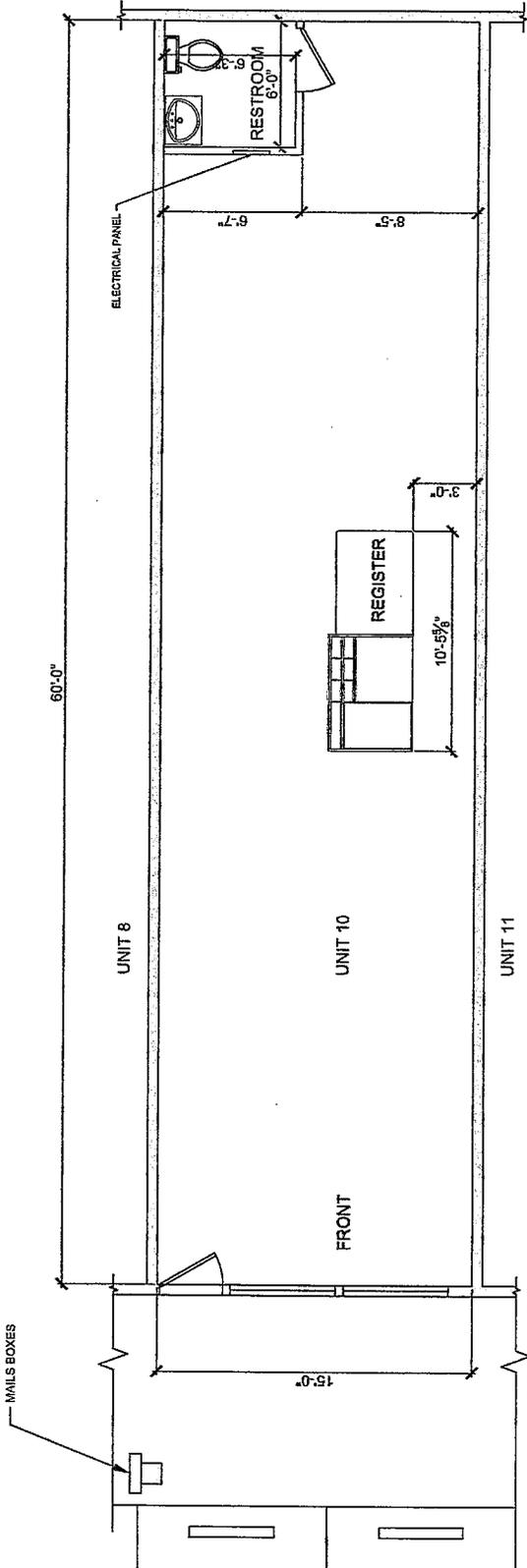
General Note

No.	Revision/Issue	Date

GLODESIGN
8833 Woodley Ave.
North Hills, Ca 91321

Project Name and Address
One Stop
23120 Lyons Ave.
Newhall, Ca 91321

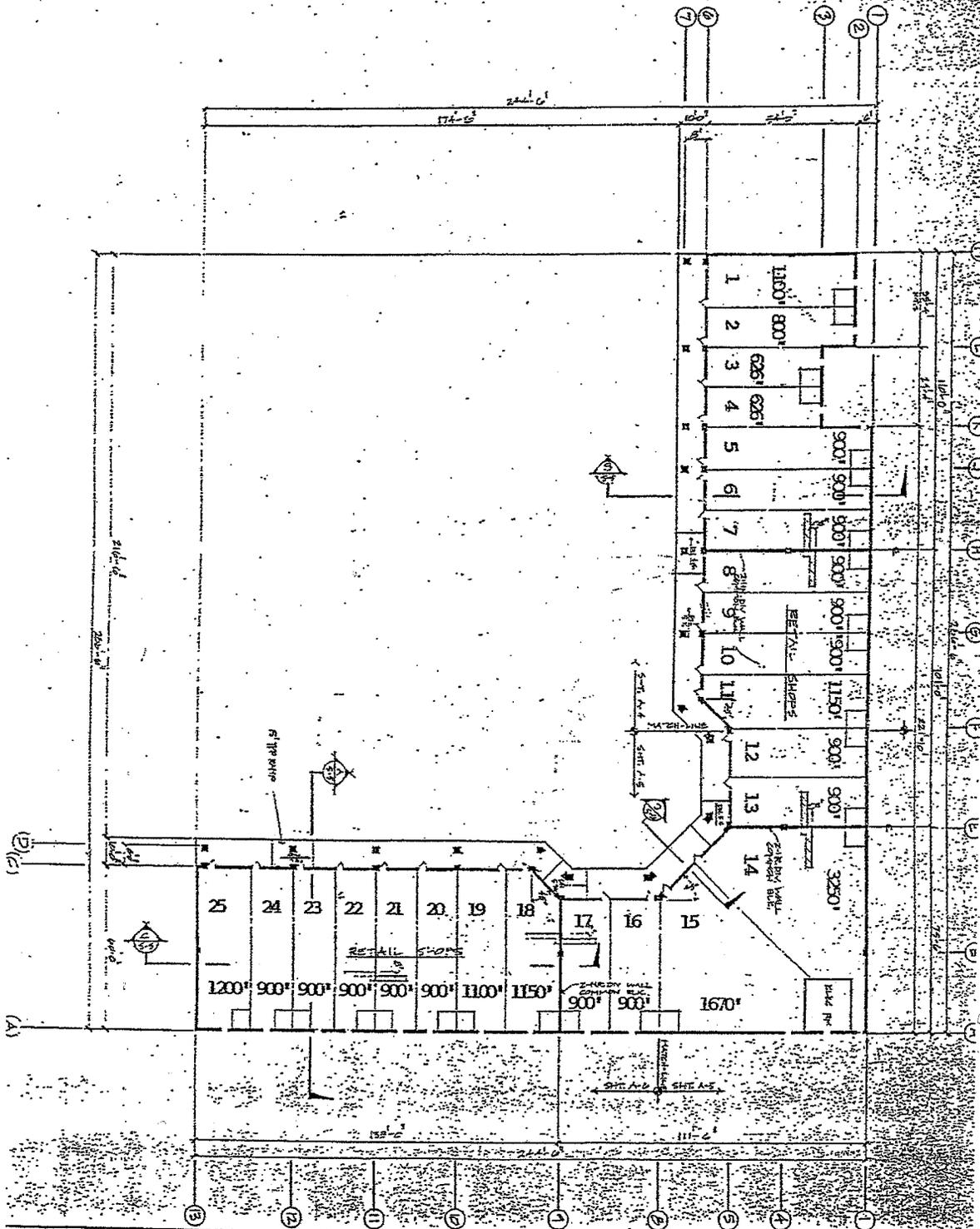
Project No. **ONE STOP**
Date **MAY 17, 2014**
Scale **3/8" = 1'-0"**
A1



1 PLAN VIEW
Scale: 3/8" = 1'-0"

WAYMAN COURT CENTER
 23120-30 LYONS AVE.
 SANTA CLARITA, CA 91321

FLOOR PLAN



	HALE & ASSOCIATES, INC. CONSULTING ENGINEERS 24002 SAN FERNANDO ROAD, MENTHOL, CALIF. 91321 (818) 259-9700		PROPOSED COMMERCIAL BLDG. FOR JOSEPH BUILDING-A	11-12-81 11-15-81 11-18-81 11-21-81 11-24-81 11-27-81 12-01-81 12-04-81 12-07-81 12-10-81 12-13-81 12-16-81 12-19-81 12-22-81 12-25-81 12-28-81 1-01-82 1-04-82 1-07-82 1-10-82 1-13-82 1-16-82 1-19-82 1-22-82 1-25-82 1-28-82 2-01-82 2-04-82 2-07-82 2-10-82 2-13-82 2-16-82 2-19-82 2-22-82 2-25-82 2-28-82 3-03-82 3-06-82 3-09-82 3-12-82 3-15-82 3-18-82 3-21-82 3-24-82 3-27-82 3-30-82 4-02-82 4-05-82 4-08-82 4-11-82 4-14-82 4-17-82 4-20-82 4-23-82 4-26-82 4-29-82 5-02-82 5-05-82 5-08-82 5-11-82 5-14-82 5-17-82 5-20-82 5-23-82 5-26-82 5-29-82 6-01-82 6-04-82 6-07-82 6-10-82 6-13-82 6-16-82 6-19-82 6-22-82 6-25-82 6-28-82 7-01-82 7-04-82 7-07-82 7-10-82 7-13-82 7-16-82 7-19-82 7-22-82 7-25-82 7-28-82 7-31-82 8-03-82 8-06-82 8-09-82 8-12-82 8-15-82 8-18-82 8-21-82 8-24-82 8-27-82 8-30-82 9-02-82 9-05-82 9-08-82 9-11-82 9-14-82 9-17-82 9-20-82 9-23-82 9-26-82 9-29-82 10-02-82 10-05-82 10-08-82 10-11-82 10-14-82 10-17-82 10-20-82 10-23-82 10-26-82 10-29-82 11-01-82 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June 20, 2014

Planning Commission
City of Santa Clarita
23920 Valencia Boulevard
Santa Clarita, Ca. 91355

RE: Master Case 14-070; Conditional Use Permit 14-007

Planning Commission:

I am opposed to the permit to allow for the operation of a second hand store at 23120 Lyons Avenue. My family and I own a residence on Wayman Street and we own and manage commercial property on Lyons Avenue.

When the City originally established permitted uses for the subject shopping center, apparently the operation of a second hand store was not permitted. I applaud the City in establishing a high standard to protect the quality of our community. Now the applicant wishes to change that standard. To change this standard the applicant must have a compelling reason.

Observation of this shopping center shows that there are approximately 20 locations and it appears that nearly half of them are vacant. I understand the applicants desire to find suitable tenants for this center, but just having vacancies are not a compelling reason to lower our standards. (Nor will it, in my opinion, help improve its occupancy issues over the long run.)

To my knowledge, there currently are no second hand stores on the Lyons Avenue Corridor. If this permit is granted, you have set a precedent for additional second hand stores on Lyons. Please do not do this. As evidenced with your new Lyons Avenue Corridor Plan, I know the City wishes to maintain a high standard on Lyons Avenue. A lot of work went into this plan, so lets maintain our standards.

The nature and quality of second hand stores is diverse. Certainly the applicant will speak to the quality that they wish to achieve with this single location at this time. But as planners and managers of our community at large, the planning commission has the responsibility to make good lasting decisions that maintains the quality of our entire community.

Thank you for your consideration.

Lyle Olsen
24599 Wayman Street
Santa Clarita, Ca. 91321

cc Patrick Leclair, Associate Planner
Jeff Hogan AICP, Planning Manager

to City;

Please reject the application to the store at 23120 Lyons.

My reasons are that it's going to create a big congestion problem on Lyons Ave.

2ndly

I believe that the store would be better fitted more out there by K-Mart or by Wal-Mart centers. There's a lot of empty offices, and the parking is way better than Lyons Ave.

They could also take a look at the center by The Long's & Ralph's center. That would be a better deal for the 2nd hand store.

-vote no-

thank you
Paul